

CEDAR PARK SCHOOLS LYNNWOOD CAMPUS CONDITIONAL USE

1. Land Use Application Cover Sheet is attached.
2. Legal Description: TRACT 164, MEADOWDALE BEACH, AS PER PLAT RECORDED IN VOL. 5, PAGE 38 OF PLATS, RECORDS OF SNOHOMISH COUNTY, WASHINGTON. EXCEPT THE SOUTH 10' AND THE WEST 10' THEREOF DEEDED TO SNOHOMISH COUNTY UNDER AUDITOR FILE NO. 1096468, RECORDS OF SAID COUNTY.
Tax Account number: 00513100016401
3. Scope of project is to add a new building with gymnasium to expand the existing school campus with new parking lot. Since the new building and parking lot is being constructed in the existing play fields there is a space being provided to the east of the new building for a full size soccer field which required cutting down some of the trees on the eastern boundary of the site and a small segmental retaining wall to level up the corner of the field.
Project complies with LMC title 21 and all subsections.
Building is located along the west side of the site to align with existing school buildings and allow the back of the site to be fenced off for security purposes. Parking has been provided between the building and the right of way with landscape screening required by LMC. Landscape barriers between residential properties to the north and east are being maintained except at the east end of the soccer field where the landscaping is being reduced. This layout reinforces connections with the other building on site that provide lunch room, performance and central administration, all which are currently existing.
4. Site is currently a school which operates from 7 am to 6 pm except for after school activities. There are up to 40 employees and 500 students. There are no hazardous materials used at this facility with the exception of standard over the counter cleaning products.
5. Site will be used as a K-12 school. There are 4 existing buildings totalling 35,526 sf, a covered plat 5,166 sf and the new 2 story classroom/gym building 22,115 sf. Schools include outdoor recreation areas that include surfaced play area, a play equipment area and fields.
6. Site area: 393,356 sf; 9.03 acres
Total building area: 57,641 sf
Covered play building: 5,166 sf
Paving: 173,330 sf
Landscaping: 21,463 sf
Storm Pond: 9,328 sf
Total remaining pervious surfaces including perimeter tree stands and play fields: 133,823 sf
7. Conditional use permit will not be injurious to neighborhood can be confirmed due to the fact that this is an existing facility.
Conditional Use Permit will be in harmony with general purpose of LMC Title 21 in that schools are approved in RS zoning with a conditional use permit.
8. Separate 11x17 site plan is attached along with a site plan in the plan set.
9. Landscaping plan is included in plan set.
10. Exterior elevations are included in plan set.
11. Photograph of materials color board is attached.
12. Vicinity map is attached.
13. Site development plans are attached.
14. Per Pre-app meeting SEPA is not required for this project.
15. Permits required include Conditional use, Design Review, Building permit including mechanical, plumbing & electrical, right of way permit, and review by Health department.
16. Design review and Building permit may be reviewed at the same time as this permit.

17. Project is not being phased.
18. There are two design review requirements we would like to alter, 1. Is blank walls, the south wall of the building is relatively blank with must siding material changes and some minor roof height changes due to a future project which will expand the building to the south. 2. Landscaping around detention pond, since the future building will expand into the detention pond and a new underground vault will be created in the future we are asking to not be required to have intensive landscaping around the pond.
19. Notarized Affidavit of Ownership is attached.
20. Owner will pay application fee remotely in whatever form the city wishes to use, mail a check or pay on-line. Owner understands there is a \$5,000 required for this permit.

Cedar Park Christian School

17931 64th AVE W
LYNNWOOD, WA. 98037

3-22-21

SITE INFORMATION

SITE AREA: 393,356 SF (9.03 ACRES)

PROJECT INFORMATION

NAME OF PROJECT: CEDAR PARK CHRISTIAN SCHOOL
17931 64th AVE W
LYNNWOOD, WA. 98037
OWNER: CEDAR PARK CHRISTIAN SCHOOL
16300 112th AVE NE
BOTHELL, WA. 98011
ZONING: RS-8400
LOT COVERAGE: 35%
HEIGHT: 35 FT
YARDS: FRONT AND REAR YARDS = 25'; SIDEYARDS = 5'

LEGAL DESCRIPTION

TAX ACCOUNT #s: 00513100016401

TRACT 164, MEADOWDALE BEACH, AS PER PLAT
RECORDED IN VOL. 5, PAGE 38 OF PLATS,
RECORDS OF SNOHOMISH COUNTY, WASHINGTON.
EXCEPT THE SOUTH 10' AND THE WEST 10'
THEREOF DEEDED TO SNOHOMISH COUNTY UNDER
AUDITOR FILE NO. 1096468, RECORDS OF SAID
COUNTY.

BUILDING INFORMATION

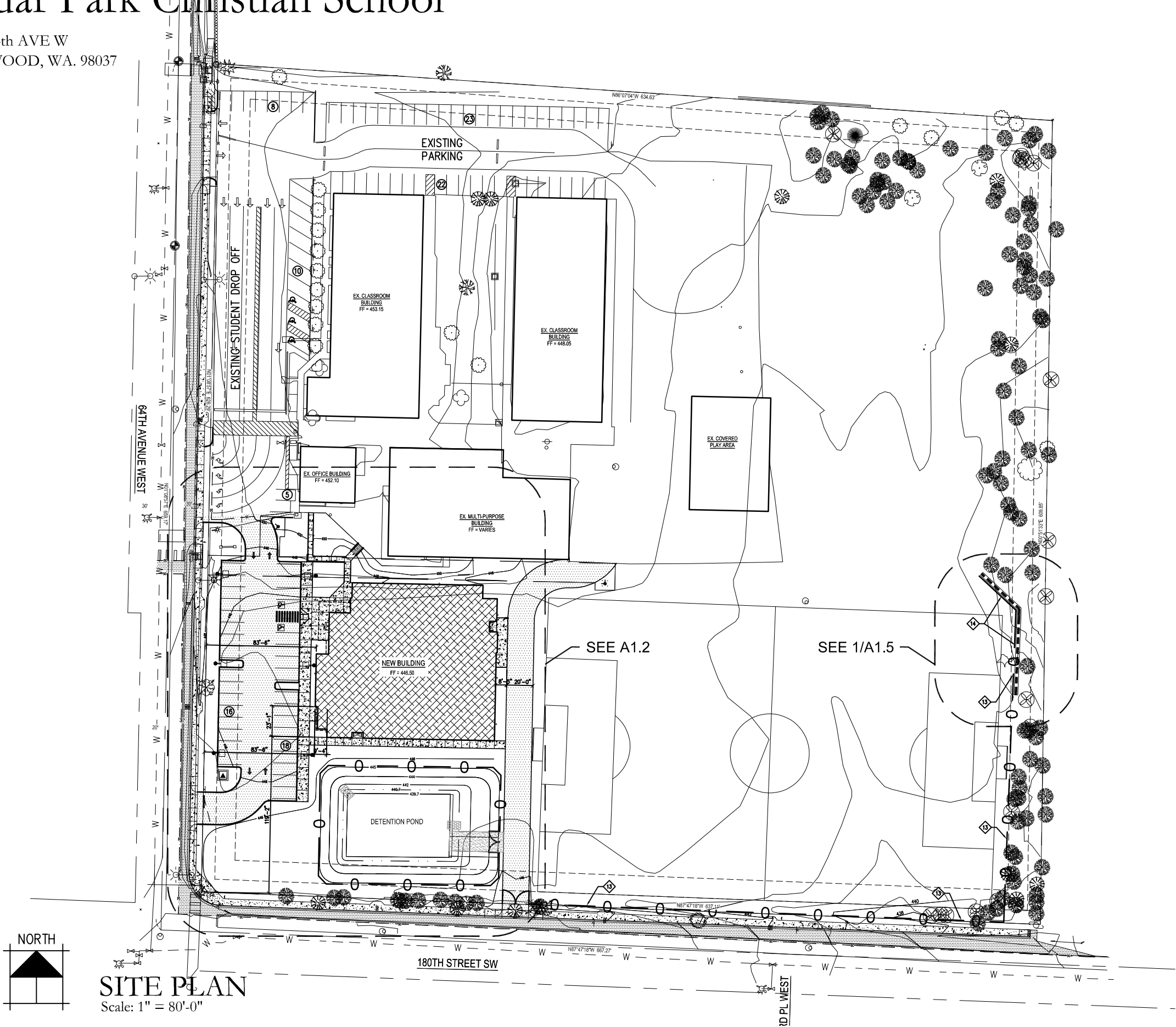
800 SF CLASSROOMS: 7
5,000 SF GYM: 1
TOILET ROOMS: 6
ADMINISTRATION AREA: 1

FIRST FLOOR: 14,720 SF
SECOND FLOOR: 7,395 SF
TOTAL: 22,115 SF

PARKING

REQUIRED PARKING (1 STALL/6 STUDENTS):

TOTAL STALLS REQUIRED $500/6 = 83$ SPACES
TOTAL STALLS PROVIDED: 98





CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS: COLOR SCHEME

HORIZONTAL METAL
SIDING

COMPOSITE WALL PANEL,
CONCRETE PANEL

HORIZONTAL BOX RIB
METAL SIDING/
HORIZONTAL METAL TRIM

ALUMINUM STOREFRONT

COMPOSITE WALL
PANEL, HORIZONTAL
WOOD PATTERN



CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS

17931 64th AVE W, LYNNWOOD, WASHINGTON 98037

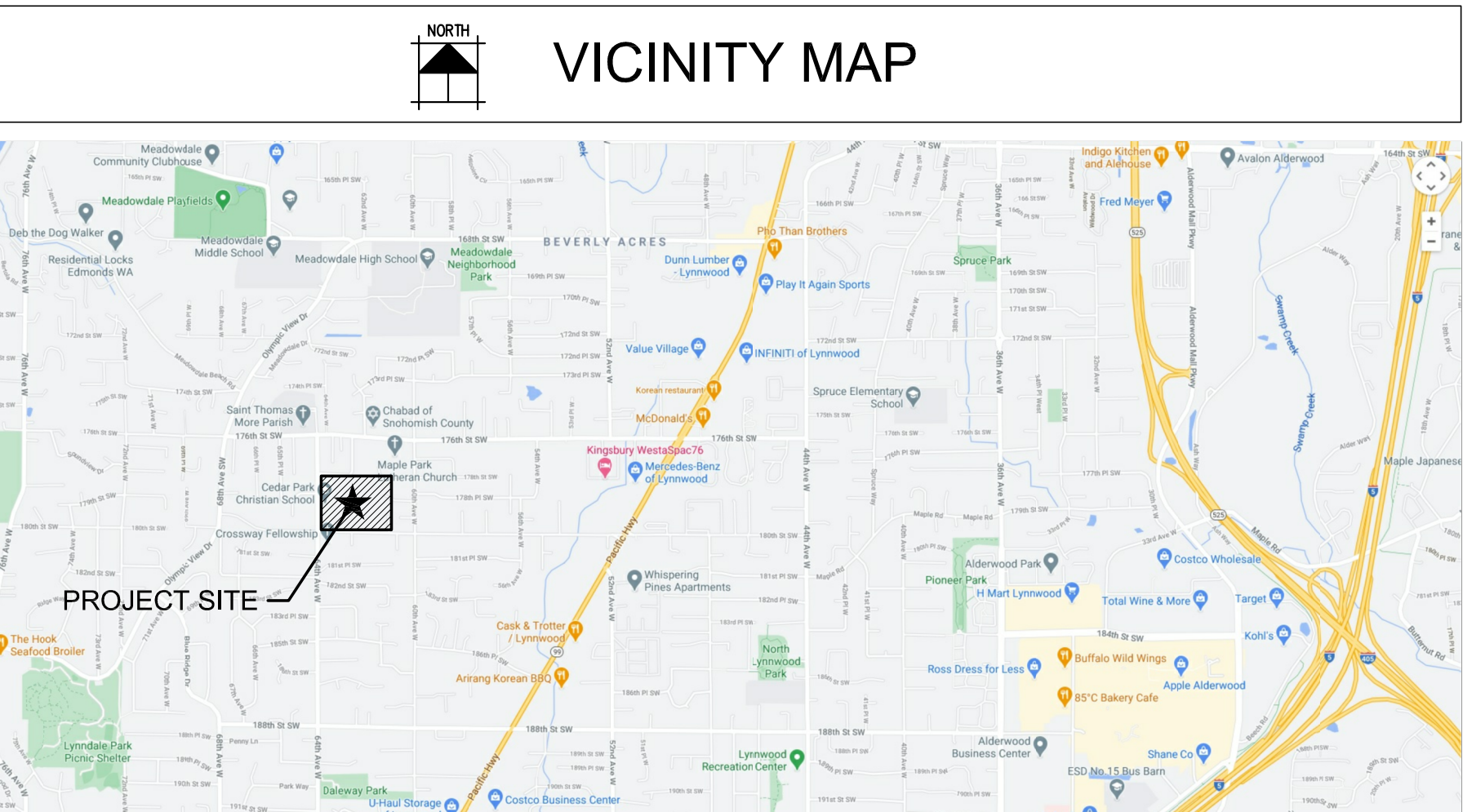
GENERAL NOTES	
GENERAL REQUIREMENTS	
A. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT ARCHITECT TO ANY UNFORESEEN CONSTRUCTION DIFFICULTIES BEFORE BEGINNING WORK.	
B. PRE-CONSTRUCTION MEETING. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, THE CONTRACTOR SHALL SCHEDULE, WITH OWNER APPROVAL, A PRE-CONSTRUCTION MEETING WITH THE LOCAL BUILDING DEPT. OR LOCAL PUBLIC WORKS DEPT. VERIFY WHICH AGENCIES SHOULD BE INVOLVED. THE CONTRACTOR SHALL PROVIDE LOCAL INSPECTOR WITH 24 HOURS NOTICE PRIOR TO INSPECTION.	
C. REPETITIVE. TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.	
D. CODES / PERMITS / REGULATIONS. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY OTHER THAN THE BUILDING CONSTRUCTION PERMIT. CONTRACTOR SHALL ALSO PAY FOR ALL OTHER CHARGES, FEES OR COSTS CHARGED BY THE BUILDING AND CONSTRUCTION DEPARTMENTS, UTILITY AGENCIES OR PRIVATE COMPANIES WHICH REQUIRE SUCH COSTS FOR OR PRIOR TO INSTALLATIONS.	
NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS. SHOULD ANY CHANGE IN THE DRAWINGS BE NECESSARY IN ORDER TO COMPLY WITH APPLICABLE CODES AND/OR REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE AND CEASE WORK. ALL PARTS PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS AND CODES.	
ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AS AMENDED BY THE STATE OF WASHINGTON AND ALL LOCAL JURISDICTION RULES AND REGULATIONS.	
E. DIMENSIONS ARE SHOWN TO FACE OF MASONRY OR CENTERLINE OF OPENING, UNLESS DETAILED OTHERWISE ON DRAWINGS.	
DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.	
THE CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS FOR THE EQUIPMENT FURNISHED AND INSTALLED BY CONTRACTOR, FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR OR OTHERS.	
THE CONTRACTOR SHALL CONSULT THE PLANS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUIT, CABINETS AND EQUIPMENT, AND SHALL VERIFY THE SIZES AND LOCATIONS WITH SUBCONTRACTORS.	
F. SHOP DRAWINGS. PROVIDE SHOP DRAWINGS FOR THE ARCHITECT'S/ OWNER'S APPROVAL AND AS REQUIRED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION.	
G. SPECIAL INSPECTIONS. OWNER WILL HIRE A TESTING LAB FOR SPECIAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTION.	
H. CONTRACTOR TO FRAME OPENINGS IN WALLS, CEILINGS AND FLOORS FOR H.V.A.C. AND OTHER MECHANICAL OR ELECTRICAL WORK WHERE REQUIRED AND NOT OTHERWISE SHOWN ON THE PLANS.	
I. COMPLY WITH APPLICABLE REGULATIONS FOR BARRIER-FREE FACILITIES (WAC 51-40-1100) INCLUDING: 1) MAXIMUM THRESHOLD HEIGHT TO BE 1/4" OR 1/2" WITH A 2:12 SLOPE. 2) STAIR NOSINGS TO BE FLUSH, SLIP-RESISTANT AND ROUNDED TO RADIUS OF ONE HALF INCH (1/2") MAXIMUM	
J. GENERAL CONTRACTOR SHALL RESTORE ANY EXISTING CONDITIONS AND SITE WORK DISTURBED DUE TO EXECUTION OF THIS CONTRACT.	
THERMAL/MOISTURE PROTECTION (FOR REFERENCE ONLY NO EXTERIOR WORK IS PROPOSED EXCEPT ADDITION OF EXTERIOR DOORS)	
A. OPENINGS. ALL OPENINGS TO BE CAULKED, SEALED OR WEATHER- STRIPPED. ALL FLASHING AND ARCHITECTURAL SHEET METAL TO BE 24 MINIMUM 24 GAUGE PREFINISHED STEEL OR SOLDERED STAINLESS STEEL WHERE INDICATED. 10"-0" LENGTHS, PER DETAILS & SMACNA MANUAL UNLESS OTHERWISE NOTED.	
B. CAULKING AND SEALANTS. USE PRIMERS AS REQUIRED BY MANUFACTURER. BACKING RODS OR TAPE AS RECOMMENDED BY MANUFACTURER. USE POLYURETHANE SEALANTS AT CONCRETE FLOOR AND SIDEWALK JOINTS, SILICONE AT WINDOWS & STOREFRONT. ALL OTHER LOCATIONS AS SPECIFIED.	
C. VAPOR BARRIERS. CONTINUOUS APPROVED VAPOR BARRIERS SHALL BE INSTALLED ON THE HEATED SIDE OF ALL THERMAL INSULATION INSTALLED.	
D. INSULATION. PROVIDE INSULATION PER WASHINGTON STATE ENERGY CODE TABLE C402.2 AS FOLLOWS: ROOF: INSULATION ENTIRELY ABOVE DECK: R-30 CONTINUOUS INSULATION ATTIC AND OTHER: R-49 WALLS: WOOD FRAMED: R-21 INT FLOORS: JOIST/FRAMING: R-30 SLAB ON GRADE: R-10 FOR 24" BELOW	
E. WEATHER RESISTIVE BARRIER/AIR BARRIER (WRB): PROVIDE A CONTINUOUS VAPOR PERMEABLE SELF-ADHERED WEATHER RESISTIVE BARRIER/AIR BARRIER (WRB) ON THE EXTERIOR OF ALL SHEATHING.	
DOORS / WINDOWS	
A. GLAZING. PROVIDE GLAZING PER INTERNATIONAL BUILDING CODE AND WASHINGTON STATE ENERGY CODE. GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS OR LAMINATED SAFETY GLASS. GLAZING U-VALUE (NFRC 100) ALUMINUM STOREFRONT: U=0.38 EXTERIOR SWING DOORS (45% GLAZED): U=0.56 EXTERIOR ROLL-UP DOORS: R=4.75	
FIRE PROTECTION	
A. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY IBC AND LOCATE PER FIRE MARSHAL'S DIRECTION.	
B. MAINTAIN STRUCTURAL AND FIRE RESISTIVE INTEGRITY AT EXTERIOR AND RATED INTERIOR WALL PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING AND COMMUNICATIONS CONDUITS, PIPED AND SIMILAR SYSTEMS.	

ABBREVIATIONS			
AB	WEATHER RESISTIVE BARRIER/AIR BARRIER (WRB)	M, MIRR	MIRROR
AFH	AIR HANDLING UNIT	MAINT	MAINTENANCE
ALT	ALTERNATE	MAX	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MET	METAL
		MFR	MANUFACTURER
		MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BRG	BEARING	MICR	MICROWAVE
		MR	MOISTURE RESISTANT
CAB	CABINET	MT	MOUNT, MOUNTED
CIP	CAST IN PLACE	MS	METAL SHELVING
CG	CORNER GUARD	MTL	METAL
CLG	CENTER LINE		
CLR	CEILING	NIC	NOT IN CONTRACT
CONC	CLEAR, CLEARANCE	NTS	NOT TO SCALE
CONST	CONCRETE		
CONT	CONSTRUCTION	O.C.	ON CENTER
COL	CONTINUOUS		
CUST	COLUMN	PB	PANIC BAR
	CUSTODIAN	PC	POWDER COAT
		PER, PERM	PERIMETER
DBL	DOUBLE	P-LAM, PLAM	PLASTIC LAMINATE
DEMO	DEMOLISH, DEMOLITION	PLYWD	PLYWOOD
DET	DETAIL	PR	PAIR
DIAG	DIAGONAL	PREF	PREFINISHED
DIA	DIAMETER	PROP	PROPERTY
DIM	DIMENSION	PT	PAINT
DIV	DIVISION	P.T.	PRESSURE TREATED
DTL	DETAIL	PTD	PAPER TOWEL DISPENSER
DR	DOOR	PTN	PARTITION
DWG	DRAWING	QTY	QUANTITY
		RB	RUBBER BASE
(E), E.	EXIST, EXISTING	RECEP	RECEPTACLE
EA	EACH	REF	REFERENCE, REFRIGERATOR
EL, ELEV	ELEVATION, EQUAL	RES	RESILIENT
EQ	EACH WAY	REQ, REQ'D	REQUIRE, REQUIRED
EW	EXTERIOR	REV	REVISION, REVISED
EXT		RM, RMS	ROOM, ROOMS
		RO	ROUGH OPENING
FA	FIRE ALARM	SAF	SELF-ADHERED FLASHING
FAA	FIRE ALARM ANNUNCIATOR	SAN	SANITARY
FAC, FF	FACTORY FINISH	SAV	STAIN AND VARNISH
FAP	FIRE ALARM PANEL	SCW	SOLID CORE WOOD
FE	FIRE EXTINGUISHER	SCD	SEAT COVER DISPENSER
FEC	FIRE EXTINGUISHER CABINET	SD	SOAP DISPENSER
FOIC	FURNISHED BY OWNER - INSTALLED BY CONTRACTOR	SEAL	SEALED CONCRETE
FRP	FIBERGLASS REINFORCED PANEL	SECT	SECTION
FT	FOOT	SF	SQUARE FEET
		SG	SAFETY GLAZING
GA	GAUGE	SHT	SHEET
GB	GRAB BAR	SN	SIMILAR
GL	GLASS, GLAZING	SND	SANITARY NAPKIN DISPOSAL
GWB	GYPSUM WALLBOARD	SPEC, SPECS	SPECIFICATIONS
		SS	STAINLESS STEEL
HDW	HARDWARE	STL	STEEL
HM	HOLLOW METAL	STD	STANDARD
HORIZ	HORIZONTAL	STOR	STORAGE
HT	HEIGHT	STRUC	STRUCTURAL
HVAC	HEATING/VENTILATION/AIR CONDITIONING	SUSP	SUSPENDED
HW	HOT WATER		
		THRU	THROUGH
INCL	INCLUDE	TOILET	TOILET PAPER DISPENSER
INFO	INFORMATION	TYP	TYPICAL
INSUL	INSULATION		
INT	INTERIOR	UNO	UNLESS NOTED OTHERWISE
		UR	URINAL
JAN	JANITOR		
JST	JOIST	VERT	VERTICAL
JT	JOINT		
		W/	WITH
LAM	LAMINATE	W/O	WITHOUT
LAV	LAVATORY	W/R	WATER RESISTANT
LOC	LOCATION	WB	WHITE BOARD
LVR	LOUVER	WC	WATER CLOSET
		WD	WOOD
		WF	WOOD FINISH
		WP	WATERPROOFING
		WR	WATER RESISTANT
		WRB	WEATHER RESISTIVE BARRIER

REFERENCE SYMBOLS			
KEY NOTE		DECORATIVE STEEL PANEL	
ROOM NAME	OFFICE A09	WALL SECTION REFERENCE	
DOOR NUMBER	A101	WALLTYPE REFERENCE	
GRID LINES AND REFERENCE	A	OPERABLE PARTITION	
DETAIL REFERENCE	1 A10.1	FRAME TYPE REFERENCE	
BUILDING SECTION REFERENCE	1 A4.1	INTERIOR ELEVATION REFERENCE	

PROJECT DATA	
PROJECT ADDRESS:	CEDAR PARK SCHOOLS 17931 64th AVE W LYNNWOOD, WA 98037
ZONING:	RS 8400
TAX ACCOUNT #:	00513100016401
LOT SIZE:	393,356 SF (9.03 ACRES)
IMPERVIOUS AREA:	SEE CIVIL
WIND EXPOSURE:	B
SOIL BEARING CAPACITY:	2,500 PSF
JURISDICTION:	CITY OF LYNNWOOD
FIRE DISTRICT:	SOUTH COUNTY FIRE
SEWER DISTRICT:	CITY OF LYNNWOOD
WATER DISTRICT:	CITY OF LYNNWOOD
BUILDING INFORMATION:	
800 SF CLASSROOMS:	7
5,000 SF GYM:	1
TOILET ROOMS:	2
ADMINISTRATION AREA:	1
FIRST FLOOR:	14,720 SF
SECOND FLOOR:	7,395 SF
TOTAL:	22,115 SF
PARKING: REQUIRED PARKING (1 STALL/6 STUDENTS):	
TOTAL STALLS REQUIRED 500/6 =	83 SPACES
STALLS PROVIDED:	68 EXISTING (3 ACCESSIBLE) 34 NEW (2 ACCESSIBLE)
TOTAL STALLS PROVIDED:	102
LOT COVERAGE:	35%
HEIGHT:	35 FT
FRONT, REAR & SIDE YARDS =	10'

CODES	
LYNNWOOD MUNICIPAL CODE 2018 WASHINGTON STATE BUILDING CODE (2018 IBC WITH AMENDMENTS) 2018 INTERNATIONAL MECHANICAL CODE (IMC 2018 WITH AMENDMENTS) 2018 WASHINGTON STATE FIRE CODE (IFC 2018 WITH AMENDMENTS) 2018 WASHINGTON STATE PLUMBING CODE NATIONAL ELECTRIC CODE (NEC) CURRENT EDITION* 2018 WASHINGTON STATE ENERGY CODE (IECC 2015 WITH AMENDMENTS) 2009 ACCESSIBILITY CODE ICC/ANSI A117.1 *CURRENT WASHINGTON STATE AMENDMENTS	
USE GROUP (IBC CHAPTER 3) E EDUCATION (SECTION 303.1 EXCEPTION 4)	
TYPE OF CONSTRUCTION (IBC CHAPTER 6) NEW CONSTRUCTION: VB	



SCOPE OF WORK	
CONSTRUCTION OF NEW FREE STANDING TWO STORY CLASSROOM BUILDING INCLUDING A ONE STORY GYMNASIUM AND NEW PARKING LOT AND BUILDING UTILITIES ON EXISTING SCHOOL SITE. INCLUDED ARE RIGHT OF WAY IMPROVEMENTS.	

PROJECT TEAM	
OWNER	CEDAR PARK CHRISTIAN SCHOOLS 16300 112th AVE NE, BOTHELL, WASHINGTON 98011 253-259-4887 MARK KIRKLAND
ARCHITECT	CORNERSTONE ARCHITECTURAL GROUP 6161 175TH STREET, SUITE 101 KENMORE, WA 98028 206-0682-5000 STEVE BARNES
CIVIL	TERRAFORMA DESIGN GROUP LLC 5027 51ST AVENUE SW SEATTLE, WA 98136 206-923-0590 PEDRO DEGUZMAN
LANDSCAPING	TERRAFORMA DESIGN GROUP LLC 5027 51ST AVENUE SW SEATTLE, WA 98136 206-923-0590 AKEMI DEGUZMAN
STRUCTURAL	PETERSON, STREHLE, MARTINSON, INC. 2200 SIXTH AVE., SUITE 601 SEATTLE, WA 98121 206-622-4580 DAVID STUBBS
MECHANICAL	WOOD HARBINGER INC. 929 108th AVE NE, STE 100 BELLEVUE, WA 98004 425-628-6042 PAUL GREENWALT
ELECTRICAL	WOOD HARBINGER INC. 929 108th AVE NE, STE 100 BELLEVUE, WA 98004 425-628-6051 SEAN BOLLEN
GEOTECH	THE RILEY GROUP INC. 17522 BOTHELL WAY NE BOTHELL, WA 98011 425-415-0551 RICKY WANG

LEGAL DESCRIPTION	
TRACT 164, MEADOWDALE BEACH, AS PER PLAT RECORDED IN VOL. 5, PAGE 38 OF PLATS, RECORDS OF SNOHOMISH COUNTY, WASHINGTON. EXCEPT THE SOUTH 10' AND THE WEST 10' THEREOF DEEDED TO SNOHOMISH COUNTY UNDER AUDITOR FILE NO. 1096468, RECORDS OF SAID COUNTY.	

SHEET INDEX

AC1COVER SHEET

AC2CODE PLAN

AC3ACCESSIBILITY DIAGRAMS

AC4CODE ANALYSIS

AC5CODE ANALYSIS

AC6ENVELOPE ENCLOSURE, CODE REQUIREMENTS AND DIAGRAMS

AC7ENVELOPE ENCLOSURE DIAGRAMS

CIVIL

C1.1CIVIL COVER SHEET

C1.2T.E.S.C. PLAN

C1.3PAVING PLAN

C1.4A GRADING & DRAINAGE PLAN

C1.4B GRADING & DRAINAGE PLAN

C2.1UTILITY PLAN

C2.164TH AVE W – STA 2+98 – 5+50

C2.264TH AVE W – STA 5+50 – 9+50

C2.3180TH ST SW – STA 20+00 – 25+00

C2.4180TH ST SW – STA 25+00 – 27+50

C2.5ROADWAY CHANNELIZATION & SIGNAGE

C3.1CIVIL NOTES

C3.2ESC DETAILS

C3.3STORM DETAILS

C3.4STORM DETAILS

C3.5STORM DETAILS

C3.6ROAD DETAILS

C3.7ROAD DETAILS

C3.8WATER DETAILS

C3.9WATER & SEWER DETAILS

LANDSCAPE

L1.1LANDSCAPING SITE PLAN

L1.2LANDSCAPE LEGEND, NOTES, DETAILS

ARCHITECTURAL

A1.1SITE PLAN

A1.2PARTIAL SITE DEMOLITION PLANS

A1.3SITE SECTIONS / DETAILS

A1.4SITE DETAILS

A1.5SITE RETAINING WALLS / DETAILS

A2.0OVERALL FLOOR PLAN

A2.11FIRST FLOOR PLAN

A2.12FIRST FLOOR EQUIPMENT & FINISHES PLAN

A2.21SECOND FLOOR PLAN

A2.22SECOND FLOOR EQUIPMENT & FINISHES PLAN

A2.3LARGE SCALE PLANS / SECTIONS / DETAILS

A2.4WALL TYPE DETAILS

A3.1EXTERIOR ELEVATION

A3.2EXTERIOR ELEVATION / SECTIONS/ ELEVATIONS

A4.1BUILDING SECTIONS

A4.2BUILDING SECTIONS

A4.3BUILDING SECTIONS

A5.1WALL SECTIONS

A5.2WALL SECTIONS

A5.3WALL SECTIONS

A5.3WALL SECTIONS

A5.4WALL SECTIONS

A5.5WALL SECTIONS

A5.6WALL SECTIONS

A5.7WALL SECTIONS

A5.8WALL SECTIONS

A5.9WALL SECTIONS

A5.10WALL SECTIONS

A5.11WALL SECTIONS

A6.1DOOR SCHEDULE / DOOR DETAILS

A6.2ROOM FINISH SCHEDULE

A6.3DOOR DETAILS

A6.4WINDOW DETAILS

A7.1INTERIOR ELEVATIONS

A7.2INTERIOR ELEVATIONS

A7.3INTERIOR ELEVATIONS

A7.4INTERIOR ELEVATIONS

A7.5INTERIOR ELEVATIONS

A7.6INTERIOR ELEVATIONS

A7.7INTERIOR ELEVATIONS

A7.8INTERIOR ELEVATIONS

A7.9INTERIOR ELEVATIONS

A8.1ROOF PLAN

A8.2ROOF DETAILS

A8.3ROOF DETAILS

A8.4ROOF DETAILS

A8.5ROOF DETAILS

A8.6ROOF DETAILS

A9.1FIRST FLOOR REFLECTED CEILING PLAN

A9.2SECOND FLOOR REFLECTED CEILING PLAN

A10.1MISCELLANEOUS DETAILS

A10.2MISCELLANEOUS DETAILS

A10.3MISCELLANEOUS DETAILS

A10.4MISCELLANEOUS DETAILS

STRUCTURAL

S1.01GENERAL NOTES

S1.02SPECIAL INSPECTIONS

S1.11LOADING DIAGRAMS

S1.21TYPICAL DETAILS – FOUNDATION

S1.31TYPICAL DETAILS (STEEL JOISTS AND METAL DECK)

S1.41WOOD FRAMING TYPICAL DETAILS

S1.42WOOD FRAMING TYPICAL DETAILS

S2.01FOUNDATION PLAN

S2.11FOUNDATION SECTIONS

S2.21FOUNDATION DETAILS

S3.01SECOND FLOOR FRAMING PLAN

S4.01ROOF FRAMING PLAN

S4.02MECHANICAL UNIT FRAMING PLAN AND DETAILS

S5.01BUILDING ELEVATIONS

S5.02BUILDING ELEVATIONS

S5.03BUILDING ELEVATIONS

S7.01FLOOR FRAMING SECTIONS

S8.01ROOF FRAMING SECTIONS

S8.02ROOF FRAMING SECTIONS

S8.03ROOF FRAMING SECTIONS

S8.11ROOF FRAMING DETAILS

S9.01STAIR FRAMING PLANS

S9.11STAIR FRAMING SECTIONS AND DETAILS

S10.01WOODEN ROOF WIND UPLIFT PLAN

S10.02STEEL ROOF WIND UPLIFT AND ROOF DECK ATTACHMENT PLANS

MECHANICAL

M0.01GENERAL NOTES

M0.02GENERAL NOTES

M2.11LEVEL 1 – MECHANICAL

M2.21LEVEL 2 – MECHANICAL

M2.31ROOF MECHANICAL

M3.01CONTROL LEGEND AND DIAGRAMS

M4.01MECHANICAL DETAILS

M6.01MECHANICAL SCHEDULES

M6.02MECHANICAL SCHEDULES

M6.03MECHANICAL SCHEDULES

MP2.11LEVEL 1 – MECHANICAL PIPING

MP2.21LEVEL 2 – MECHANICAL PIPING

MP3.21ROOF MECHANICAL PIPING

P2.11UNDERSLAB – PLUMBING

P2.11LEVEL 1 – PLUMBING

P2.21LEVEL 2 – PLUMBING

P4.01PLUMBING DETAILS

FP2.11LEVEL 1 – FIRE PROTECTION

FP2.21LEVEL 2 – FIRE PROTECTION

ELECTRICAL

E0.1ELECTRICAL SYMBOLS AND ABBREVIATIONS

E1.1ELECTRICAL SITE PLAN

E2.1POWER FIRST FLOOR PLAN

E2.2POWER SECOND FLOOR PLAN

E2.31ROOF – ELECTRICAL

E3.1LIGHTING FIRST FLOOR PLAN

E3.2LIGHTING SECOND FLOOR PLAN

E4.1SYSTEMS FIRST FLOOR PLAN

E4.2SYSTEMS SECOND FLOOR PLAN

E5.1ELECTRICAL ONE LINE DIAGRAM

E5.2ENLARGED PLANS

E5.3ENLARGED PLANS

E6.1ELECTRICAL SCHEDULES

E6.2ELECTRICAL SCHEDULES

E6.3ELECTRICAL SCHEDULES

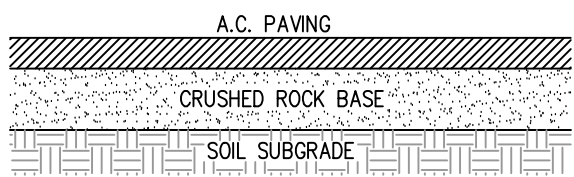


LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	A.C. PAVING
---	---	CONCRETE
---	---	SAWCUT LINE
---	---	RETAINING WALL

SITE NOTES

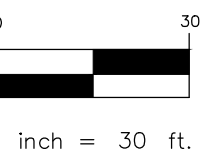
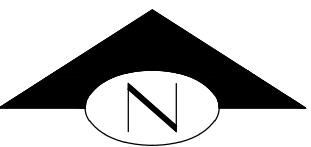
- NEW CONCRETE CURB PER ARCH. PLANS
- NEW CONCRETE WALKWAY PER ARCH. PLANS
- NEW ASPHALT PAVING PER DTL. 1/C1.3
- NEW CURB RAMP PER ARCH. PLANS
- NEW CONCRETE STAIRWAY PER ARCH. PLANS
- NEW CONCRETE RAMP WITH RAILING PER ARCH. PLANS.
- OVERHEAD CANOPY
- NEW PARKING STRIPING PER ARCH. PLANS
- NEW ADA STRIPING & SIGN PER ARCH. PLANS
- NEW FILTERRA VAULT PER SHT. C1.4A
- EX. TREES TO BE REMOVED (TYP)
- CONCRETE WALL PER ARCH. SHT. A1.5
- 6" HIGH, BLACK, VINYL CHAINLINK FENCE TY. 3 PER WSDOT STD. PLAN L-20.10-03
- 16" WIDE, 6" HIGH BLACK, VINYL CHAINLINK GATE DOUBLE GATE PER WSDOT STD. PLAN L-30.10-02.
- DETENTION POND PER SHEET C1.4A
- 15" WIDE POND ACCESS DRIVE PER DTL. 2/C3.3
- RECONSTRUCT EX. MAILBOX COORDINATE WITH POSTMASTER
- SAWCUT & SEAL LINE



3" HOT MIX ASPHALT - CLASS 1/2",
OVER 6" TOP COURSE CRUSHED SURFACING PER WSDOT SPEC. 9-03.9(3),
OVER COMPACTED SUBGRADE, 95% OF MAX. DRY DENSITY (ASTM D1557)

NOTE: FOR ADDITIONAL PAVING AND COMPACTION REQUIREMENTS,
REFER TO GEOTECHNICAL REPORT BY THE RILEY GROUP.

1 A.C. PAVING SECTION
C1.3 SCALE: N.T.S.



NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS
SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR
SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING
UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR
SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF
ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND
ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO
CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING
DAYS BEFORE YOU DIG
CALL '811'

TERRAFORMA
DESIGN GROUP, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW Seattle, WA 98136
phone: 206.923.0590 website: www.terraformdesigngroup.com



CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS

17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PROJECT NO: 101901

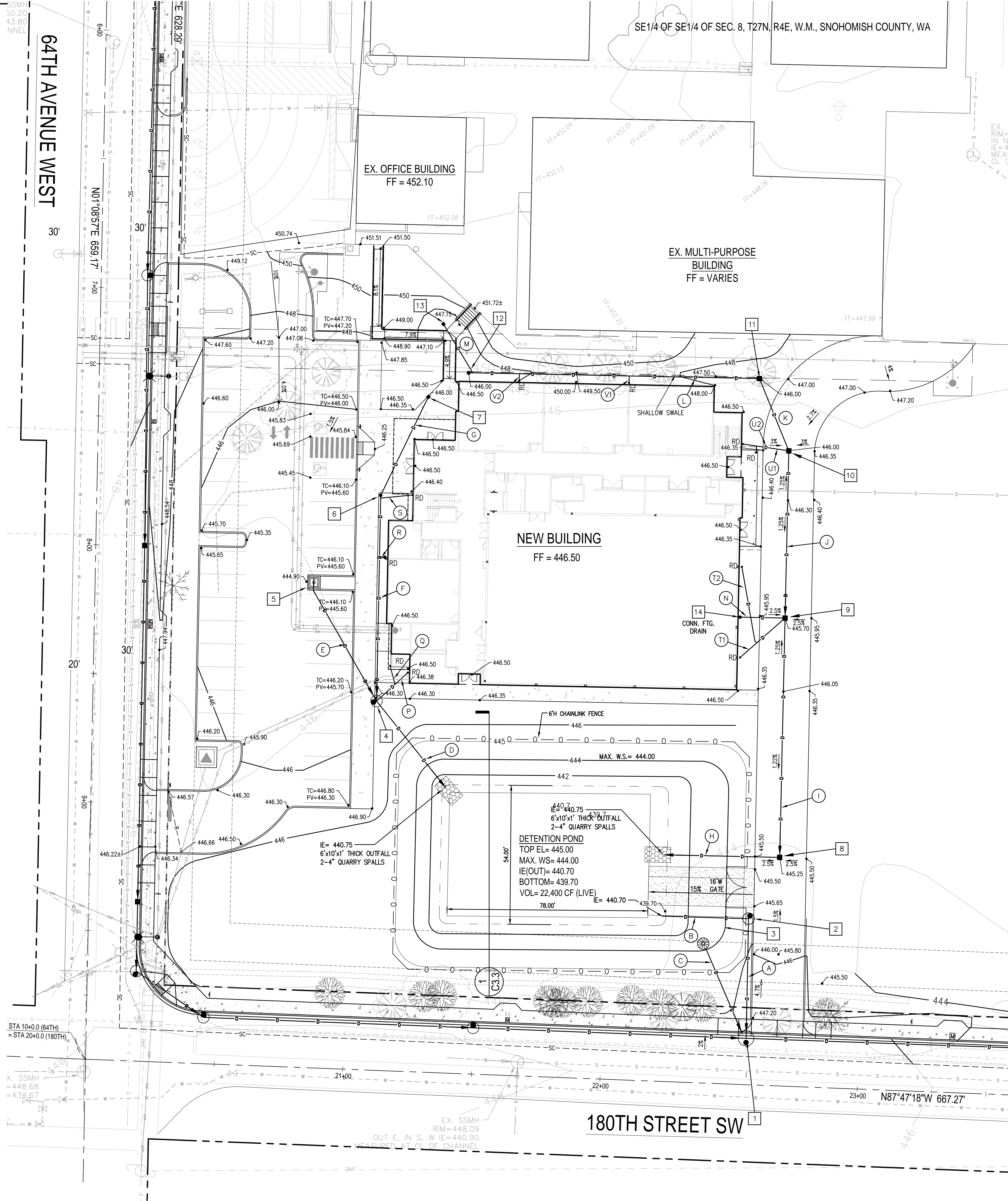
PERMIT SET
SHEET TITLE:
PAVING PLAN

DATE: 2-11-21
REVISIONS:

C1.3

Cornerstone
ARCHITECTURAL GROUP
Phone: 206.682.5000
cornerstonearch.com
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028





STORM STRUCTURE / CLEANOUT SCHEDULE			
CB/CO	TYPE	RIM	IE
1	CB, TY. 2 - 72", SL	447.10	439.88 (12"NW) 439.88 (12"N) 439.88 (12"W,E)
2	CB, TY. 2 - 54", SL CONTROL STRUCT. PER DTL. 4/C3.3	446.00	440.50 (12"W) 440.50 (12"S)
3	CB, TY. 2-54" OVERFLOW PER DTL. 5/C3.3	444.00	440.50 (12"SE)
4	CB, TY. 2 - 54", SL	446.30	441.22 (6"N) 441.05 (8"NW,SE)
5	FILTERRA VAULT PER DTL. 2/C3.4	445.40 FL=444.90	441.40 (8"SE)
6	CLEANOUT	446.10	443.80 (6")
7	AREA DRAIN	446.00	444.50 (4"SW)
8	CB, TY. 1, GR	445.25	441.72 (8"N,W)
9	CB, TY. 1, GR	445.70	442.75 (6"W) 442.55 (6"SW) 442.38 (8"S)
10	CB, TY. 1, GR	446.05	443.00 (6"N) 442.83 (8"S)
11	CB, TY. 1, GR	446.00	443.30 (6"W,S)
12	AREA DRAIN	446.00	444.50 (6"E)
13	AREA DRAIN	446.85	445.35 (4"SE)
14	CLEANOUT CONN. FTG. DRAIN	446.20	443.10 (6"E)

TYPE 1 CATCH BASINS PER CITY DWG. NO. STD4-2
TYPE 2 CATCH BASINS PER CITY STD. DWG. NO. STD4-4
GR= VANED GRATE PER CITY STD. DWG. NO. STD4-8
SL= SOLID LID PER CITY STD. DWG. NO. STD6-6
CLEANOUTS PER DTL. 6/C3.3
AREA DRAINS SHALL BE 12"x12" CONC. BASIN WITH 8"x8" CAST IRON GRATE

STORM PIPE SCHEDULE			
PIPE	DIA / TYPE	LENGTH (FT)	SLOPE
A	12" CPE	46	1.35%
B	12" CPE	33	0.61%
C	12" CPE	40	1.55%
D	8" CPE	43	0.70%
E	8" CPE	50	0.70%
F	6" PVC	80	3.23%
G	4" PVC	42	1.67%
H	8" CPE	45	2.28%
I	8" CPE	93	0.70%
J	8" CPE	65	0.70%
K	6" PVC	30	1.00%
L	6" PVC	113	1.06%
M	4" PVC	23	2% MIN.
N	6" PVC	30	2% MIN.
O	OMITTED		
P	6" PVC	16	2% MIN.
Q	4" PVC	7	2% MIN.
R	6" PVC	2	2% MIN.
S	6" PVC	12	2% MIN.
T1	6" PVC	22	2% MIN.
T2	6" PVC	30	2% MIN.
U1	6" PVC	12	2% MIN.
U2	4" PVC	6	2% MIN.
V1	6" PVC	3	2% MIN.
V2	6" PVC	3	2% MIN.

CPE SHALL BE ADS, N-12 OR EQUAL.
PVC PIPE SHALL BE SDR35
PIPE LENGTHS DIST. TO CTR. OF STRUCTURE, U.N.O.

LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	CONCRETE
---	---	SAWCUT LINE
---	---	RETAINING WALL
---	---	GRADING CONTOUR
---	---	SPOT ELEVATION
---	---	WATER MAIN
---	---	SEWER MAIN
---	---	STORM DRAIN
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	GATE VALVE
---	---	SEWER MANHOLE
---	---	STORM CB
---	---	STORM MANHOLE
---	---	ELECTRICAL LINE
---	---	TELEPHONE LINE
---	---	GAS LINE
---	---	POWER VAULT
---	---	UTILITY POLE
---	---	STREET LIGHT
---	---	PARKING LIGHT

NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG
CALL 811

TERRAFORMA
DESIGN GROUP, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW Seattle WA 98136
phone: 206.923.0590 website: www.terraformdesigngroup.com

Cornerstone
ARCHITECTURAL GROUP
Phone: 206.682.5000
cornerstonearch.com

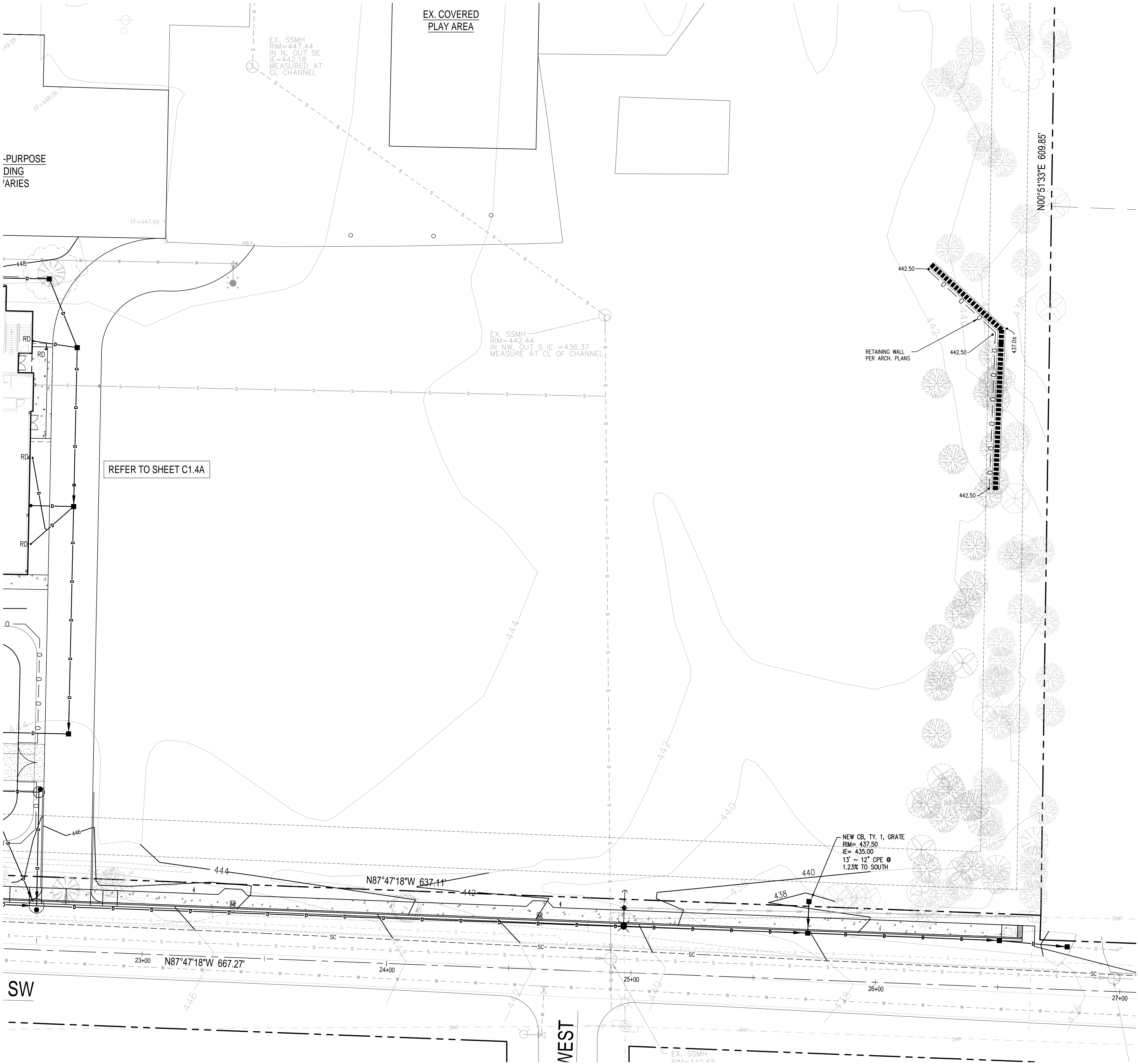
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028

2/11/21

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PERMIT SET
SHEET TITLE:
GRADING & DRAINAGE PLAN
PROJECT NO: 101901
DATE: 2-11-21
REVISIONS:

C1.4A



LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	CONCRETE
---	---	SAWCUT LINE
---	---	RETAINING WALL
---	---	GRADING CONTOUR
---	---	SPOT ELEVATION
---	---	WATER MAIN
---	---	SEWER MAIN
---	---	STORM DRAIN
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	GATE VALVE
---	---	SEWER MANHOLE
---	---	STORM CB
---	---	STORM MANHOLE
---	---	ELECTRICAL LINE
---	---	TELEPHONE LINE
---	---	GAS LINE
---	---	POWER VAULT
---	---	UTILITY POLE
---	---	STREET LIGHT
---	---	PARKING LIGHT

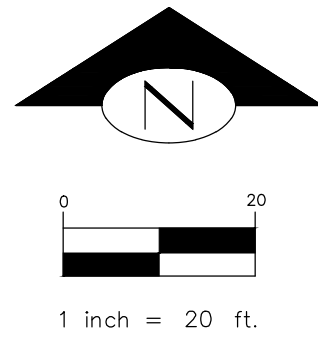
NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG
CALL '811'



TERRAFORMA
DESIGN GROUP, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW Seattle WA 98136
phone: 206.923.0590 website: www.terraformdesigngroup.com

Cornerstone
ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonearch.com

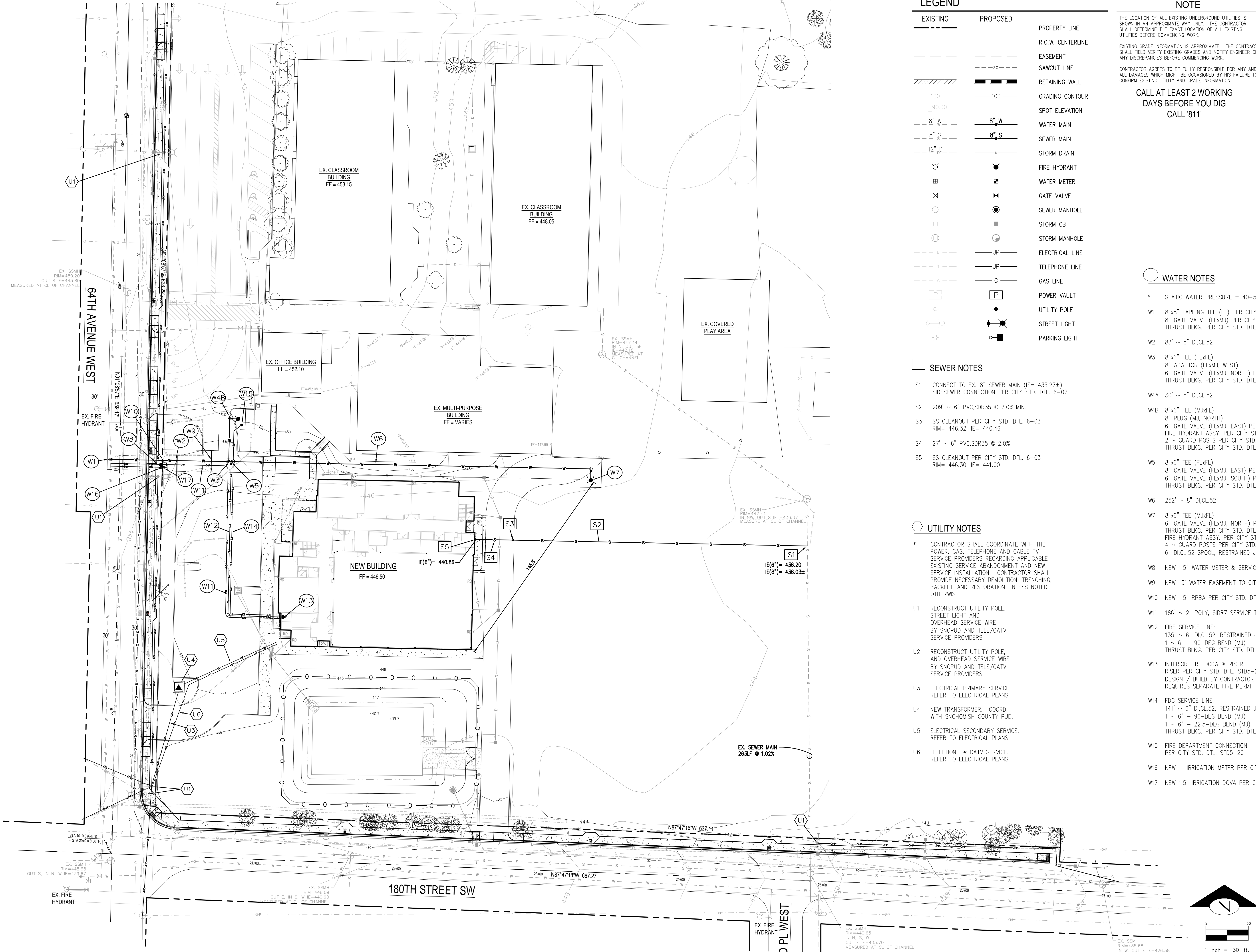
PERMIT SET
SHEET TITLE:
GRADING & DRAINAGE PLAN

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PROJECT NO: 101901

DATE: 2-11-21
REVISIONS:

C1.4B



LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	SAWCUT LINE
---	---	RETAINING WALL
---	---	GRADING CONTOUR
---	---	SPOT ELEVATION
---	---	WATER MAIN
---	---	SEWER MAIN
---	---	STORM DRAIN
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	GATE VALVE
---	---	SEWER MANHOLE
---	---	STORM CB
---	---	STORM MANHOLE
---	---	ELECTRICAL LINE
---	---	TELEPHONE LINE
---	---	GAS LINE
---	---	POWER VAULT
---	---	UTILITY POLE
---	---	STREET LIGHT
---	---	PARKING LIGHT

SEWER NOTES

- S1 CONNECT TO EX. 8" SEWER MAIN (IE= 435.27±) SIDSEWER CONNECTION PER CITY STD. DTL. 6-02
- S2 209' ~ 6" PVC,SDR35 @ 2.0% MIN.
- S3 SS CLEANOUT PER CITY STD. DTL. 6-03 RIM= 446.32, IE= 440.46
- S4 27' ~ 6" PVC,SDR35 @ 2.0%
- S5 SS CLEANOUT PER CITY STD. DTL. 6-03 RIM= 446.30, IE= 441.00

UTILITY NOTES

- * CONTRACTOR SHALL COORDINATE WITH THE POWER, GAS, TELEPHONE AND CABLE TV SERVICE PROVIDERS REGARDING APPLICABLE EXISTING SERVICE ABANDONMENT AND NEW SERVICE INSTALLATION. CONTRACTOR SHALL PROVIDE NECESSARY DEMOLITION, TRENCHING, BACKFILL AND RESTORATION UNLESS NOTED OTHERWISE.
- U1 RECONSTRUCT UTILITY POLE, STREET LIGHT AND OVERHEAD SERVICE WIRE BY SNOPOD AND TELE/CATV SERVICE PROVIDERS.
- U2 RECONSTRUCT UTILITY POLE, AND OVERHEAD SERVICE WIRE BY SNOPOD AND TELE/CATV SERVICE PROVIDERS.
- U3 ELECTRICAL PRIMARY SERVICE. REFER TO ELECTRICAL PLANS.
- U4 NEW TRANSFORMER. COORD. WITH SNOHOMISH COUNTY PUD.
- U5 ELECTRICAL SECONDARY SERVICE. REFER TO ELECTRICAL PLANS.
- U6 TELEPHONE & CATV SERVICE. REFER TO ELECTRICAL PLANS.

NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG
CALL '811'

WATER NOTES

- * STATIC WATER PRESSURE = 40-50 PSI
- W1 8"x8" TAPPING TEE (FL) PER CITY STD. DTL. 5-11 8" GATE VALVE (FLxMJ) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05
- W2 83' ~ 8" DI,CL.52
- W3 8"x6" TEE (FLxFL) 8" ADAPTOR (FLxMJ, WEST) 6" GATE VALVE (FLxMJ, NORTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05
- W4A 30' ~ 8" DI,CL.52
- W4B 8"x6" TEE (MJxFL) 8" PLUG (MJ, NORTH) 6" GATE VALVE (FLxMJ, EAST) PER CITY STD. DTL. STD5-4A FIRE HYDRANT ASSY. PER CITY STD. PLAN 5-07 2 ~ GUARD POSTS PER CITY STD. PLAN 5-08 THRUST BLKG. PER CITY STD. DTL. 5-05
- W5 8"x6" TEE (FLxFL) 8" GATE VALVE (FLxMJ, EAST) PER CITY STD. DTL. STD5-4A 6" GATE VALVE (FLxMJ, SOUTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05
- W6 252' ~ 8" DI,CL.52
- W7 8"x6" TEE (MJxFL) 6" GATE VALVE (FLxMJ, NORTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05 FIRE HYDRANT ASSY. PER CITY STD. PLAN 5-07 4 ~ GUARD POSTS PER CITY STD. DTL. 5-08 6" DI,CL.52 SPOOL, RESTRAINED JOINTS
- W8 NEW 1.5" WATER METER & SERVICE PER CITY STD. DTL. 5-02
- W9 NEW 15' WATER EASEMENT TO CITY OF LYNNWOOD
- W10 NEW 1.5" RPBA PER CITY STD. DTL. 5-12B
- W11 186' ~ 2" POLY, SDR7 SERVICE TO BUILDING
- W12 FIRE SERVICE LINE: 135' ~ 6" DI,CL.52, RESTRAINED JOINTS 1 ~ 6" - 90-DEG BEND (MJ) THRUST BLKG. PER CITY STD. DTL. 5-05
- W13 INTERIOR FIRE DCDA & RISER RISER PER CITY STD. DTL. STD5-21 DESIGN / BUILD BY CONTRACTOR REQUIRES SEPARATE FIRE PERMIT
- W14 FDC SERVICE LINE: 141' ~ 6" DI,CL.52, RESTRAINED JOINTS 1 ~ 6" - 90-DEG BEND (MJ) 1 ~ 6" - 22.5-DEG BEND (MJ) THRUST BLKG. PER CITY STD. DTL. 5-05
- W15 FIRE DEPARTMENT CONNECTION PER CITY STD. DTL. STD5-20
- W16 NEW 1" IRRIGATION METER PER CITY STD. DTL. 5-01
- W17 NEW 1.5" IRRIGATION DCVA PER CITY DTL. DTL. 5-12A

TERRAFORMA
DESIGN GROUP, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW Seattle WA 98136
phone: 206.923.0590 website: www.terraformdesigngroup.com



Cornerstone
ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonearch.com

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS

17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PROJECT NO: 101901

DATE: 2-11-21
REVISIONS:

PERMIT SET
SHEET TITLE:
UTILITY PLAN

C1.5

LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		R.O.W. CENTERLINE
		EASEMENT
		SAWCUT LINE

CHANNELIZATION & SIGNAGE NOTES

- EX. WHITE GORE STRIPE TO BE REMOVED
- NEW WHITE GORE STRIPE PER CITY STD. DTL. STD7-17
- NEW CROSSWALK BARS PER CITY STD. DTL. STD7-20A
- RELOCATE EX. CROSSWALK SIGN TO STA 3+35.0, 20.5'L
- GRIND & REMOVE EX. CROSSWALK BARS
- STA 7+16: NEW CROSSWALK BARS PER CITY STD. DTL. STD7-20A
- RELOCATE EX. CROSSWALK SIGN TO STA 7+05.0, 27.0'L
- RELOCATE EX. "25 MPH" SIGN TO STA 9+35.0, 27.0'L
- RELOCATE EX. "STOP" & STREET SIGNS TO STA 20+47.0, 27.0'L
- RELOCATE EX. "SCHOOL ZONE" SIGN TO STA 23+20.0, 27.0'L
- RELOCATE EX. CROSSWALK AHEAD SIGN TO STA 24+70.0, 27.0'L

** SIGN INSTALLATION PER CITY STD. DTL. STD7-16 (TYP)

TERRAFORMA
DESIGN GROUP, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE

5027 51st Avenue SW Seattle WA 98136
phone: 206.923.0590 website: www.terraformdesigngroup.com

Professional Engineer
PEDRO A. DEGUARDIA
No. 35646
2/11/21

Professional Engineer
No. 35646
2/11/21

Cornerstone
ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonearch.com

© CORNERSTONE ARCHITECTURAL GROUP

The main plan view shows two street segments: 64TH AVENUE WEST and 180TH STREET SW. 64TH AVENUE WEST runs horizontally across the top half of the drawing, with stationing from 3+00 to 24+00. It features a centerline, easements, and various channelization and signage callouts (1-11). 180TH STREET SW runs horizontally across the bottom half, with stationing from 21+00 to 27+00. It also features a centerline, easements, and channelization and signage callouts (1-11). The intersection of 64th Avenue West and 180th Street SW is shown in the center. A north arrow and a scale bar (1 inch = 30 ft) are located in the center-right area. The drawing also shows 64TH STREET W running vertically on the left and 63RD PL WEST running vertically on the right. Various bearings and distances are noted along the street segments, such as N01°08'57"E 628.29' and N87°47'18"W 637.11'.

PERMIT SET

SHEET TITLE:
ROADWAY CHANNELIZATION
& SIGNAGE

DATE: 2-11-21

REVISIONS:

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS

17931 64th Ave W

LYNNWOOD, WASHINGTON 98037

PROJECT NO: 101901

C2.5

File: 20098-Civil.dwg Date: Feb 11, 2021 01:00 PM

LACEY MUNIDIPAL CODE: PORTION OF ONLY

- 21.08.300 General landscaping standards.
- A. General Site Preparation.
1. Compacted Soil. During site preparation soil must be loosened or uncompacted in landscape areas where necessary due to compaction. Soil must be uncompacted, at minimum, down to 24 inches below surface grade in any landscape buffer, street frontage, or parking lot landscaping areas. Depth of soil that is loosened or uncompacted may be less if recommended by the qualified landscape professional. Where necessary soil amendments may be added from a verified source.
2. Root Barriers. Trees planted within 10 feet of a public street, sidewalk, paved trail, or walkway must be a deep-rooted species and must be separated from hardscapes by a root barrier to prevent physical damage to public improvements.
- 3-Alternative Root Diversion: Alternative root diversion-and-barrier techniques will be considered if the applicant states the root diversion method on the landscape plans and provides a letter and any exhibits from the qualified landscape professional explaining how the method achieves the desired outcome.

B. General Plant Standards (Groundcover, Shrubs, and Trees).

1. Plant Selection. Plants must be appropriate for the Puget Sound lowland region. Permitted plants and trees are allowed as described below.

- a. Prohibited Plants. Plants listed by the Washington State Noxious Weed Control Board in their Noxious Weed List or subsequent document, or commonly known as invasive species, are prohibited from being planted in the city.
- b. Permitted Plants. Landscaping materials installed shall include species native to the Puget Sound lowland region of the Pacific Northwest or noninvasive species that have adapted to the climatic conditions of the region. Drought-tolerant or drought-resistant vegetation is preferred.

2. Plant Variety. Plant material should include a variety of seasonal colors, forms, and textures that contrast or complement each other with a mixture of evergreen and deciduous trees, shrubs, and groundcover and low-maintenance perennials. Preference must be given to plant material which can be maintained in its natural form without pruning over material requiring regular pruning or plants pruned into artificial shapes. Continuous expanses of uniform landscape treatment along an entire street front should be avoided.

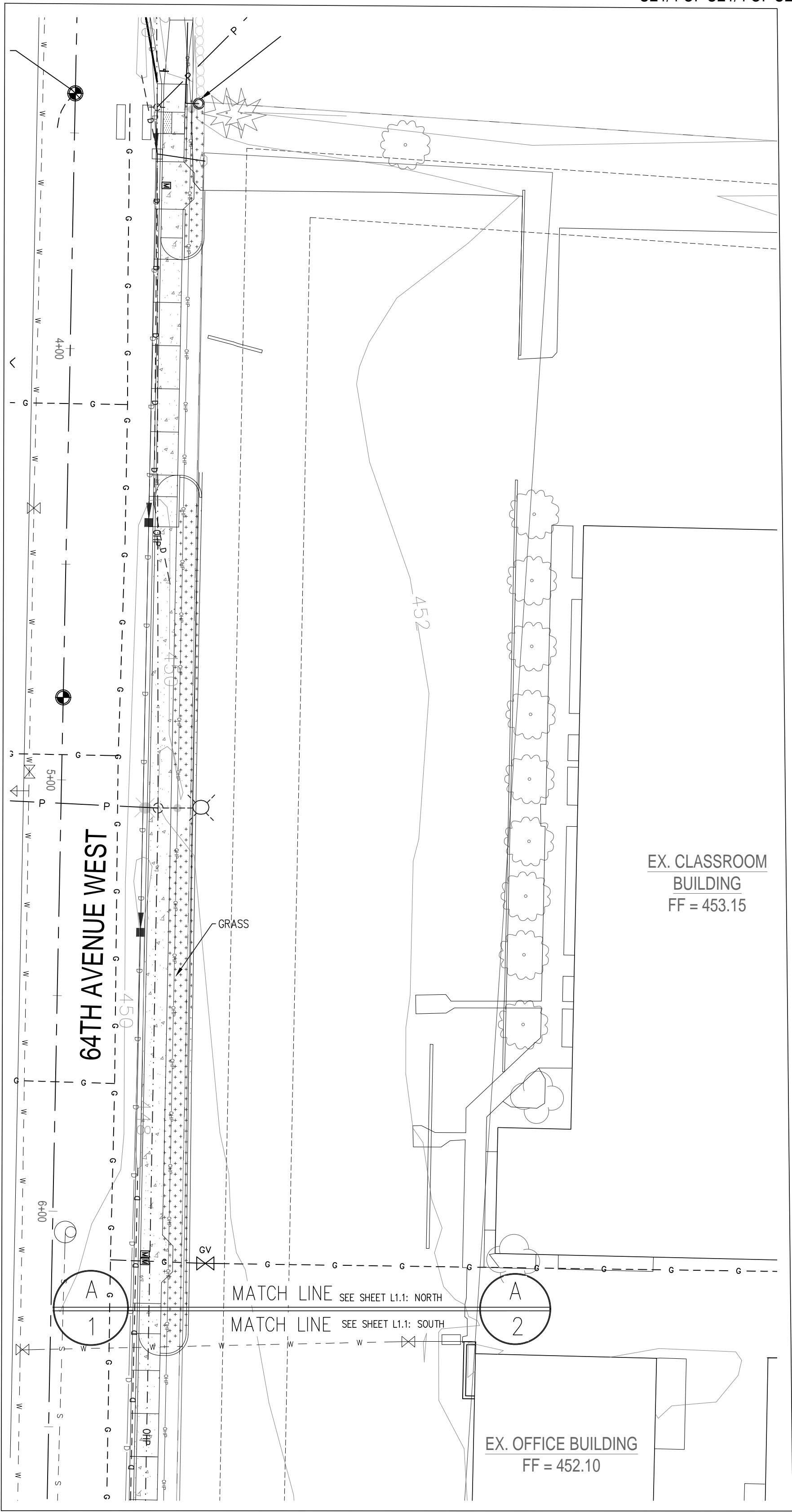
C. General Tree Standards.

1. Trees must be selected from the city's Tree Preservation and Protection Guidelines and meet the following standards:
- a. A mixture of deciduous and evergreen trees must be planted in all landscaped areas of a site with exceptions noted in the specific landscaping sections of this chapter.
- b. Trees must be suitable to the site and, if applicable, provide adequate screening throughout the entire life of the tree.
- c. Deciduous and evergreen trees must be a minimum of eight feet in height and have a caliper size of at least two inches at time of planting.
- d. Trees must be planted so that, when they reach maturity, there will be a minimum of 10 feet of clearance on-center between trees.
- e. Tree selection within all landscape areas, including street trees, must comply with Snohomish PUD utility requirements, other existing utilities (stormwater, water, and wastewater conveyance systems), lighting, existing and proposed signage, adjacent trees, existing natural features, tree root growth, solar access, planting area width, and overall height of selected trees at maturity.
- f. Trees must be arranged to promote energy conservation wherever practical. This includes using deciduous trees on the south and west sides of buildings to provide shade from summer sun and evergreen trees on the north side of buildings to dissipate effects of winter wind and rain.
- g. Tree branches must be trimmed to provide a minimum of six feet of clearance measured from the ground to the branch to prevent sight and pedestrian obstructions. Tree branches must be trimmed to provide eight feet of clearance when overhanging vehicular use areas.
- h. If more than 10 trees are required to be installed, no more than 40 percent of the new trees may be of a single species. This applies to the new trees to be planted, not to the existing trees on the site.
- i. The specific number of trees required for a landscaped area on a site may be found under the respective section of this chapter.
- j. Trees may be planted in linear rows, staggered rows, or clustered. However, all trees shall be planted a minimum of five feet on-center from back of public sidewalk edge.

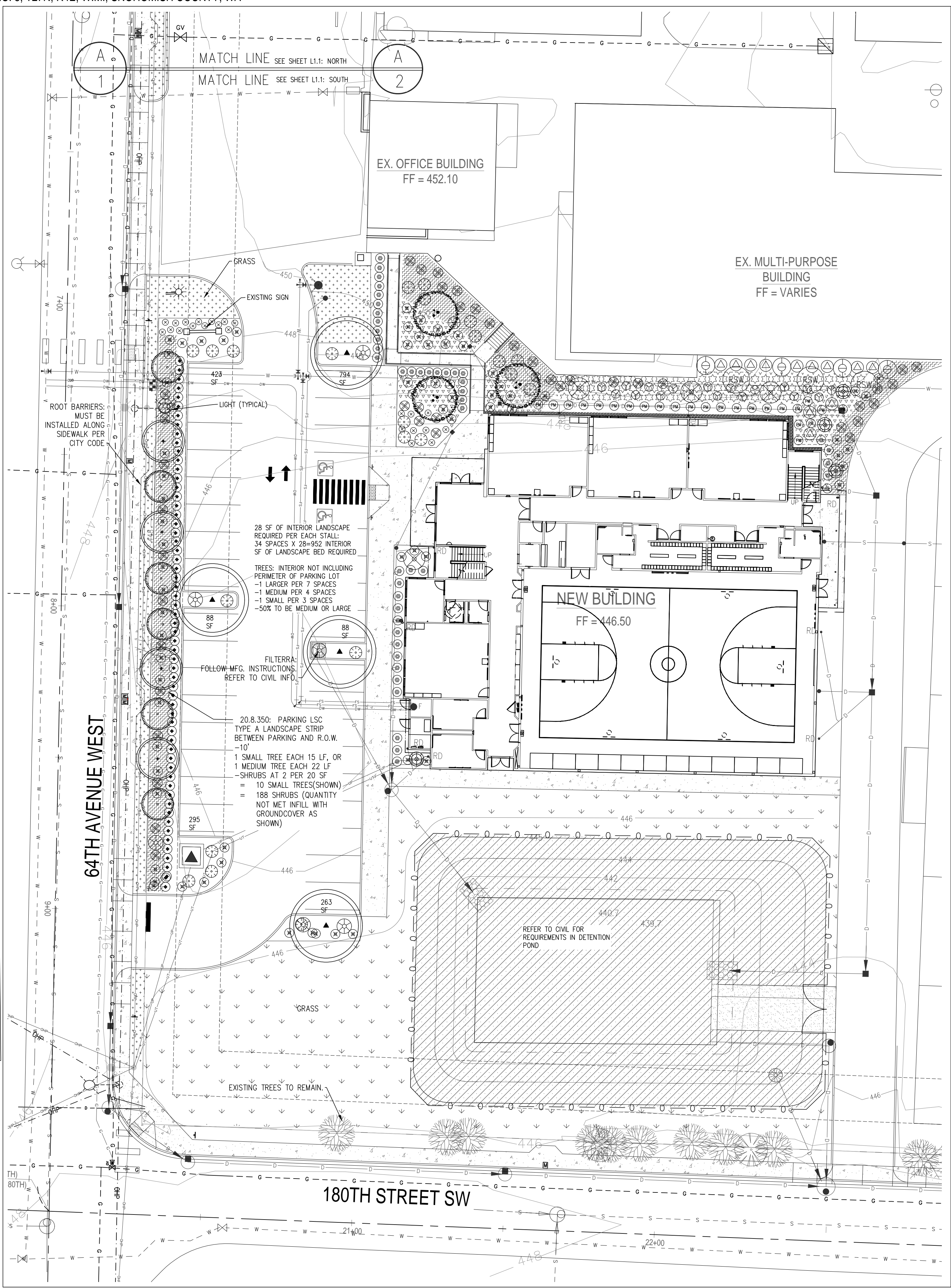
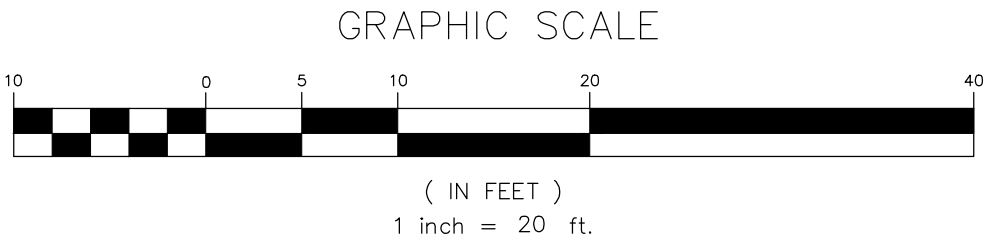
D. General Shrub and Groundcover Standards.

1. Groundcover. All areas of exposed earth not covered by trees or other plants must have living groundcover installed unless otherwise permitted.
2. Motorist Visibility. In driveway and roadway sight triangles and parking lot frontage strips, shrubs and groundcover must be composed of low evergreen shrubs or a mix of evergreen and non-evergreen shrubs with a maximum growth height of three feet.
3. Nonliving Groundcover. Nonliving groundcover (noncompacted, unless a functional part of a LID system) may not be used as living groundcover substitutes. However, up to three percent of the site's entire landscaped area may be landscaped with nonliving groundcover. Nonliving groundcover may not be installed within three feet of pedestrian walkways.
4. Landscape Areas Abutting Parking Stalls. If curbing or wheel stops are installed along an edge of a parking space that abuts a landscaped area, groundcover or plants may be installed adjacent to the stall. Otherwise a minimum area of two feet from the pavement edge shall be free of plants or shrubs. Grasses or groundcover may be planted in this area.

NOTE: ONLY PORTION OF CODE FOR GENERAL INFORMATION ONLY. REFER TO ENTIRE CODE AND CITY COMMENTS FOR ALL REQUIRED INFORMATION.

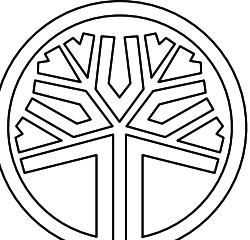


LANDSCAPE PLANTING PLAN :
NORTH



LANDSCAPE PLANTING PLAN:
SOUTH

TERRAFORMA
DESIGN GROUP, INC.



STATE OF
WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Akemi Sakaida
AKEMI RAE SAKAIDA
CERTIFICATE NO. 794
EXPIRES 06/16/22

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW Seattle, WA 98136
Phone: 206.923.0590 website: www.terraformdesigngroup.com

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PERMIT SET

SHEET TITLE: LANDSCAPE PLANTING PLAN

DATE: 2-11-21 PROJECT NO: 101901

REVISIONS:




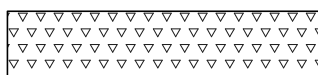
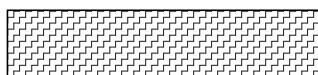

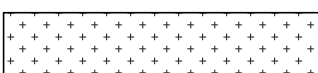

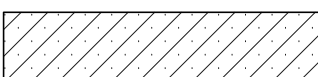
Cornerstone
ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonearch.com



© CORNERSTONE ARCHITECTURAL GROUP

L1.1

GROUNDCOVER/GRASSES/PERENNIALS

SYMBOL	SCIENTIFIC NAME COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES
① 	CALLUNA VULGARIS HEATHER	24	1 GALLON	AS SHOWN	FULL: WHITE, OR PURPLE FLOWER OR COLORED FOLIAGE (SPRING TORCH)
② 	MISCANTHUS ADIAGO ADIAGO DWARF MAIDEN GRASS	43	1 GALLON	AS SHOWN	FULL, BUSHY, WELL SHAPED
③ 	POLYSTICHUM MUNITOM SWORD FERN	24	1 GALLON	AS SHOWN	FULL, BUSHY, WELL SHAPED
	CAREX 'ICE DANCER' ICE DANCER VARIEGATED SEDGE	90	1 GALLON	36" TRIANGULAR	FULL, BUSHY, MULTI-STEM
	FRAGARIA 'LIPSTICK' LIPSTICK ORNAMENTAL STRAWBERRY	200	4" POTS	30" TRIANGULAR	FULL, BUSHY, MULTI-STEM
	MAHONIA REPENS CREEPING OREGON GRAPE	75	1 GALLON	36" TRIANGULAR	FULL, BUSHY, MULTI-STEM
	GRASS PERENNIAL RYE MIX SOD	2950 SF APPROX.	—	—	NO NET SOD. PROVIDE OPTION TO OWNER REPRESENTATIVE FOR HYDROSEED (COST AND TIME OF YEAR DEPENDANT)
	GRASS HYDROSEED OR PERENNIAL RYE MIX SOD	7700 SF APPROX.	—	—	WITH AMMENDED TOPSOIL AND MULCH AND TACKIFIER
	DETENTION POND: REFER TO CIVIL FOR GRASS AND OTHER REQUIREMENTS	12000 SF APPROX.			

NOTE:
 — GROUNDCOVER QUANTITY IS APPROXIMATE ONLY.
 — GROUNDCOVER IS NOT REQUIRED UNDER SHRUB CANOPY OR WITHIN TREE WELL AREAS.

* UTILITY LOCATION: DETERMINE ALL ABOVE GRADE AND UNDERGROUND UTILITIES BEFORE COMMENCING WORK. ALL WORK TO BE COMPLETED TO AVOID ANY DAMAGE. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR.

1. ALL PLANTING BEDS TO BE NONCOMPACTED TO A DEPTH OF 24". PLANTING BEDS TO HAVE ADDITIONAL APPROVED TOPSOIL OR AMENDED TOPSOIL DEPENDING ON SITE GRADES AFTER CONSTRUCTION. ALLOW FOR AN ADDITIONAL 3" OF COMPOST FOR AMENDMENT INTO EXISTING BEDS, BLENDED INTO THE TOP 8". ALL PLANTING BEDS TO HAVE POSITIVE DRAINAGE. ASSUME 12" APPROVED TOPSOIL FOR NEW PLANTING BEDS.

1. UNKNOWN AT THIS TIME IF THERE IS AN EXISTING SYSTEM.

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND LOCATE AND EXISTING OR PROPOSED UTILITIES. ANY DAMAGE DONE BY NOT LOCATING, IS THE RESPONSIBILITY OF THE CONTRACTOR.

2. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL SITE INFORMATION, TO INCLUDE BUT NOT LIMITED TO: WORK AREA EROSION CONTROL, PROTECTION PRACTICES.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

**CALL AT LEAST 2 WORKING
DAYS BEFORE YOU DIG
CALL '811'**

PERMIT SET

LANDSCAPE
LEGEND, NOTES, DETAILS

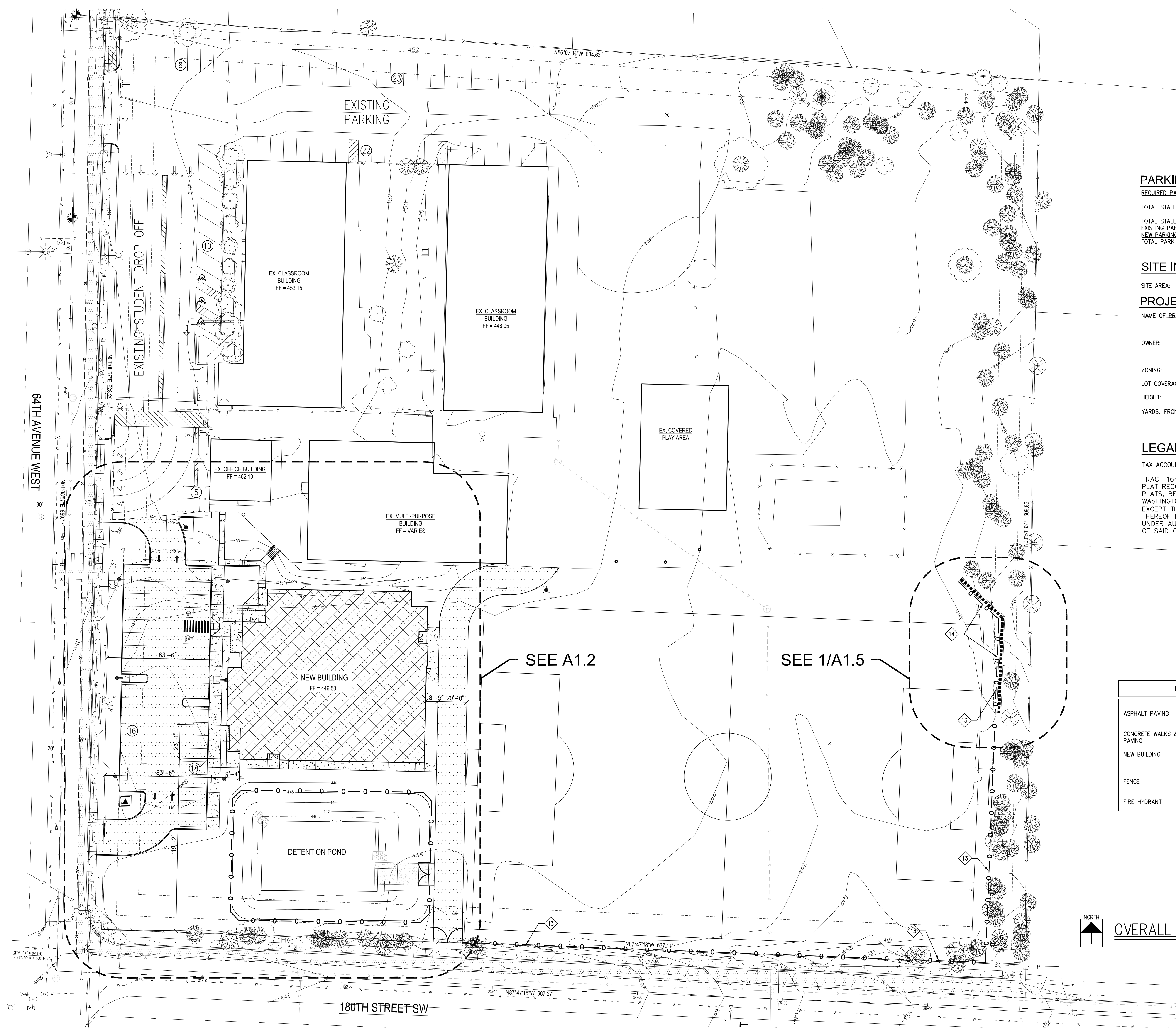
PROJECT NO: 101901

DATE: 2-11-21
REVISIONS:

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS

17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

L1.2



NOTE:
SEE A1.2 FOR SITE PLAN
KEYED NOTES.

PARKING

REQUIRED PARKING (1 STALL/6 STUDENTS):

TOTAL STALLS REQUIRED 600/6 = 100 SPACES

TOTAL STALLS PROVIDED:
EXISTING PARKING: 69
NEW PARKING: 34
TOTAL PARKING: 103

SITE INFORMATION

SITE AREA: 393,356 SF (9.03 ACRES)

PROJECT INFORMATION

NAME OF PROJECT: CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th AVE W
LYNNWOOD, WA. 98037

OWNER: CEDAR PARK CHRISTIAN SCHOOL
16300 112th AVE NE
BOTHELL, WA. 98011

ZONING: RS-8400

LOT COVERAGE: 35%

HEIGHT: 35 FT

YARDS: FRONT AND REAR YARDS = 25'; SIDEYARDS = 5'

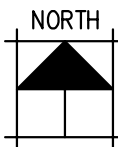
LEGAL DESCRIPTION

TAX ACCOUNT #s: 00513100016401

TRACT 164, MEADOWDALE BEACH, AS PER
PLAT RECORDED IN VOL. 5, PAGE 38 OF
PLATS, RECORDS OF SNOHOMISH COUNTY,
WASHINGTON.

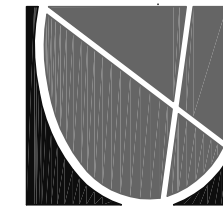
EXCEPT THE SOUTH 10' AND THE WEST 10'
THEREOF DEEDED TO SNOHOMISH COUNTY
UNDER AUDITOR FILE NO. 1096468, RECORDS
OF SAID COUNTY.

LEGEND	
ASPHALT PAVING	
CONCRETE WALKS & PAVING	
NEW BUILDING	
FENCE	
FIRE HYDRANT	



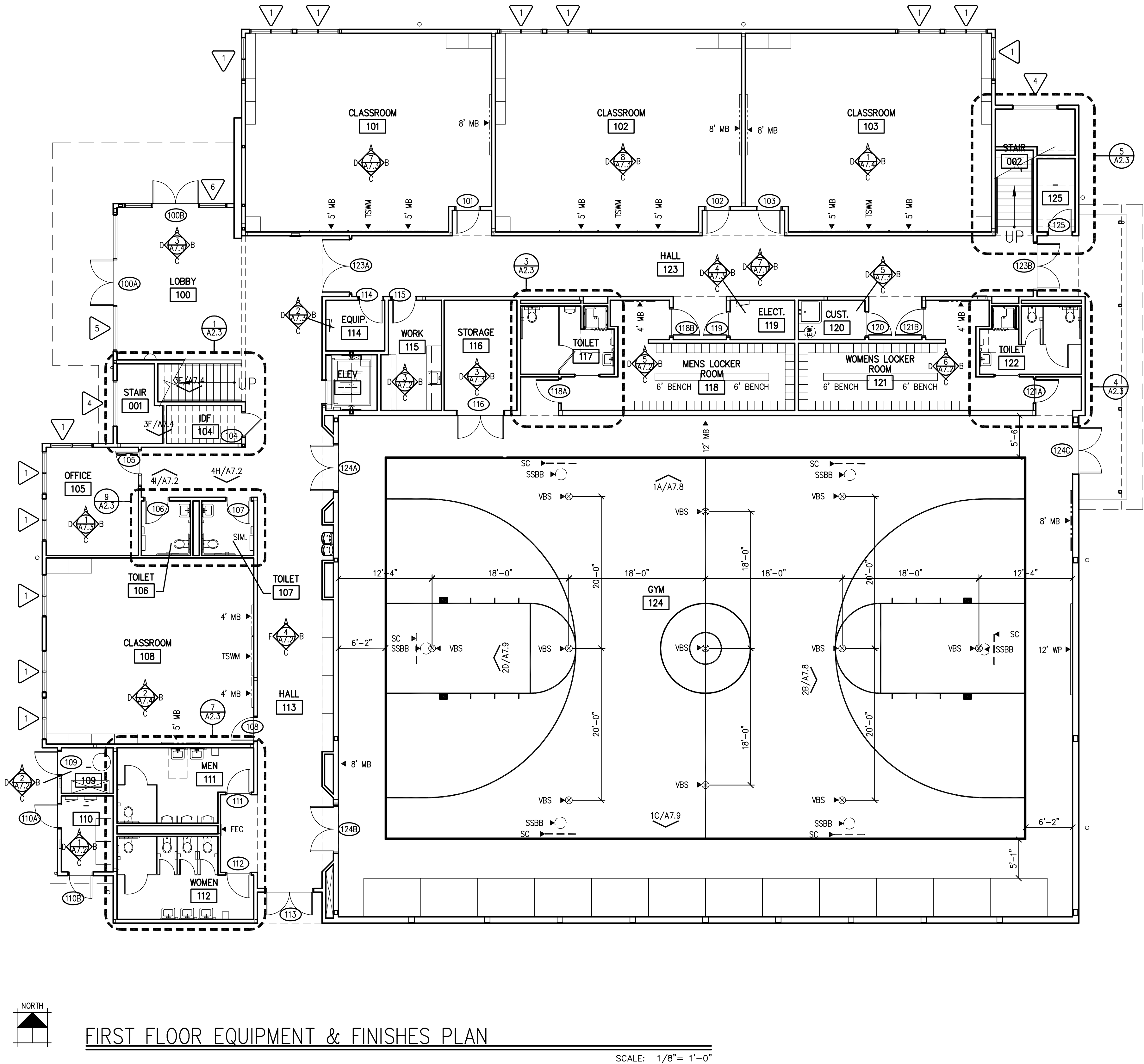
OVERALL SITE PLAN

SCALE: 1" = 30'



© CORNERSTONE ARCHITECTURAL GROUP

3954 REGISTERED
ARCHITECT
STEVEN A. BARNES
STATE OF WASHINGTON



FIRST FLOOR EQUIPMENT & FINISHES PLAN

SCALE: 1/8"= 1'-0"

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AWP-1	1" FABRIC FACES ACOUST. WALL PANEL
AWP-3	2" RIGID FACES ACOUST. WALL PANEL
BOS	BLACK OUT SHADES SEE
BS	2" BLACK STRIPE (ALL LINES IN GYM ARE "BS" U.O.N)
BR	5' LONG BICYCLE RACKS. SEE 5/A1.6
BLS	2" BLUE STRIPE
CC	CYCLORAMA CURTAIN
CPT	CARPET
DC	DISPLAY CASE.
EM	ENTRY MAT
FAA	FIRE ALARM ANNUNCIATOR
FEB	FIRE EXTINGUISHER AND WALL BRACKET
FEC	FIRE EXTINGUISHER AND CABINET
GS	2" GREEN STRIPE
HO	MAGNETIC HOLD OPEN
ID	INTERCOM DISPLAY
LDB	LOCK DOWN BUTTON
LOC	LOCKERS W/ COMBINATION LOCKS
KB	KNOX BOX
MB	MARKER BOARD
MPROJ	MOTORIZED PROJECTION SCREEN, SEE ELEC.
MS	METAL SHELVING
OH	OTHER HAND
PM	PROJECTOR MOUNT
PMBB	POLE MOUNTED BASKETBALL BACKSTOP (OUTSIDE ONLY)
RS	2" RED STRIPE
RTF	RUBBER TILE FLOOR
SKP	SECURITY KEYPAD
SSBB	SIDE SWING BASKETBALL BACKSTOP
SMBB	SIDE MOUNTED BASKETBALL BACKSTOP
SWP	SLATWALL PANEL
TB	TACKBOARD
TSWM	TOUCH SCREEN WALL MONITOR
VBS	VOLLEYBALL STANDARD SLEEVE
WM	WALL MOUNTED MONITOR
WMCH	WALL MOUNTED COAT HOOKS 6" O.C.
WP	WALL PAD
YS	2" YELLOW STRIPE

LEGEND

LEGEND	
	FIRE EXTINGUISHER W/ CABINET PER DETAIL 5/A10.2
	FIRE EXTINGUISHER SURFACE MOUNTED
	FOR SIGNS, SEE SIGN SCHEDULE
	INTERIOR ELEVATIONS
	DOOR NUMBERS
	ROOM NAME/NUMBER
	DECORATIVE STEEL PANEL

NOTES

- SEE SHEETS A6.1 AND A6.2 FOR ROOM FINISH & DOOR SCHEDULES, DOOR & WINDOW TYPES.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL TACKBOARDS, ACOUSTICAL WALL PANELS, ETC.
- PROVIDE CORNER GUARDS ON ALL OUTSIDE CORNERS.
- SEE A7 SHEETS FOR STANDARD MOUNTING HEIGHTS DETAIL & INTERIOR ELEVATIONS. 4' HIGH PLASTIC LAMINATE WAINSCOT AROUND ALL SERVICE SINKS, TYP.
- ALL INTERIOR & EXTERIOR WINDOWS OR RELIGHTS TO HAVE BLINDS

PERMIT SET
SHEET TITLE: FIRST FLOOR
EQUIPMENT & FINISHES
PLAN

DATE: 2-11-21
REVISIONS:

PROJECT NO: 101901

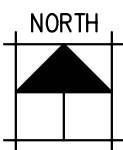
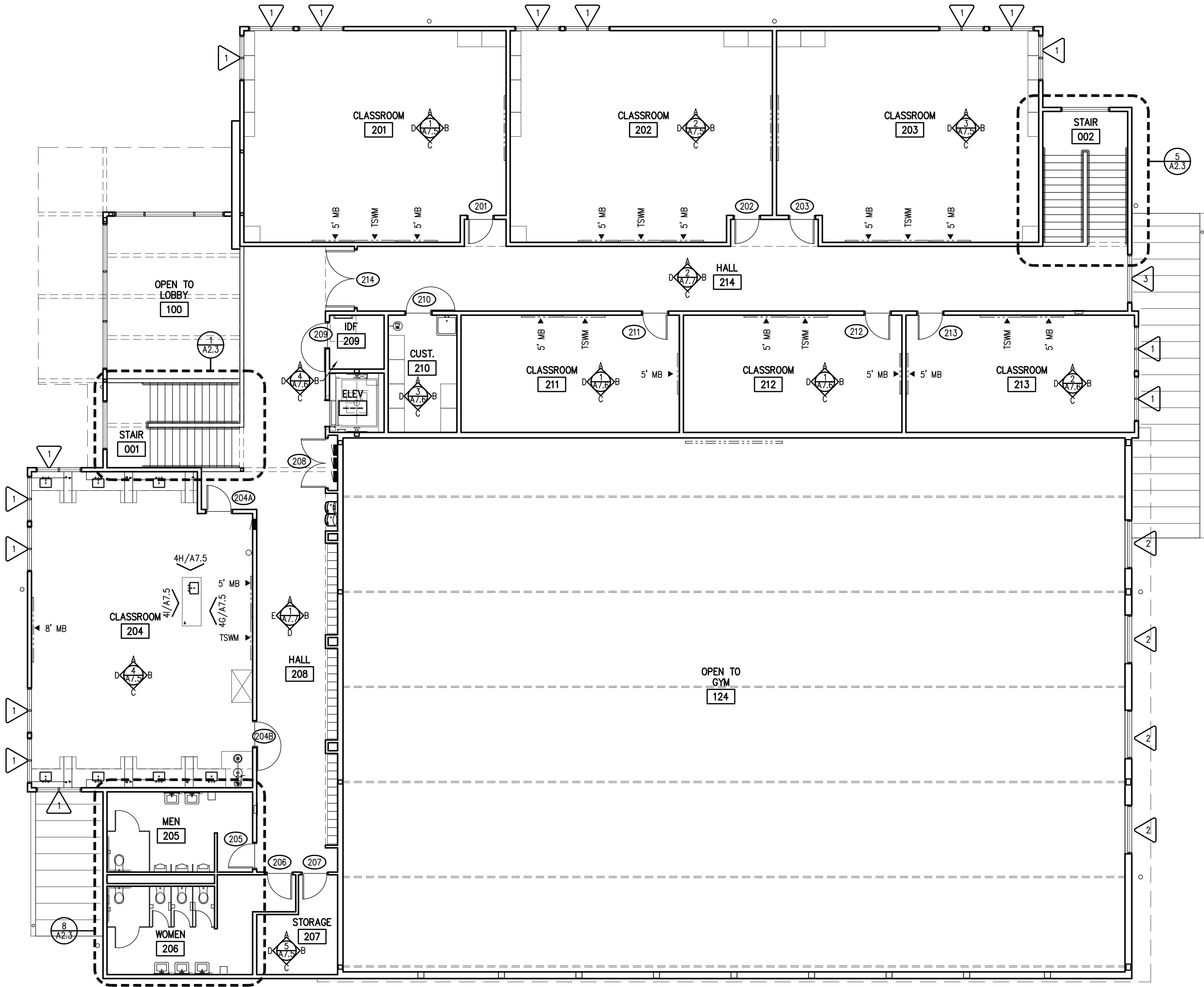
CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

3954
REGISTERED
ARCHITECT
STEVEN A. BARNES
STATE OF WASHINGTON

CORNERSTONE ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonearch.com

Cornerstone
ARCHITECTURAL GROUP

A2.12



SECOND FLOOR EQUIPMENT & FINISHES PLAN

SCALE: 1/8" = 1'-0"

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AWP-1	1" FABRIC FACES ACOUST. WALL PANEL
AWP-3	2" RIGID FACES ACOUST. WALL PANEL
BOS	BLACK OUT SHADES SEE
BS	2" BLACK STRIPE (ALL LINES IN GYM ARE "BS" U.O.N)
BR	5' LONG BICYCLE RACKS. SEE 5/A1.6
BLS	2" BLUE STRIPE
CC	CYCLORAMA CURTAIN
CPT	CARPET
DC	DISPLAY CASE.
EM	ENTRY MAT
FAA	FIRE ALARM ANNUNCIATOR
FEB	FIRE EXTINGUISHER AND WALL BRACKET
FEC	FIRE EXTINGUISHER AND CABINET
GS	2" GREEN STRIPE
HO	MAGNETIC HOLD OPEN
ID	INTERCOM DISPLAY
LDB	LOCK DOWN BUTTON
LOC	LOCKERS W/ COMBINATION LOCKS
KB	KNOX BOX
MB	MARKER BOARD
MPROJ	MOTORIZED PROJECTION SCREEN, SEE ELEC.
MS	METAL SHELVEING
OH	OTHER HAND
PM	PROJECTOR MOUNT
PMBB	POLE MOUNTED BASKETBALL BACKSTOP (OUTSIDE ONLY)
RS	2" RED STRIPE
RTF	RUBBER TILE FLOOR
SKP	SECURITY KEYPAD
SSBB	SIDE SWING BASKETBALL BACKSTOP
SMBB	SIDE MOUNTED BASKETBALL BACKSTOP
SWP	SLATWALL PANEL
TB	TACKBOARD
TSWM	TOUCH SCREEN WALL MONITOR
VBS	VOLLEYBALL STANDARD SLEEVE
WM	WALL MOUNTED MONITOR
WMCH	WALL MOUNTED COAT HOOKS 6" O.C.
WP	WALL PAD
YS	2" YELLOW STRIPE

LEGEND

LEGEND

	FIRE EXTINGUISHER W/ CABINET PER DETAIL 5/A10.2
	FIRE EXTINGUISHER SURFACE MOUNTED
	FOR SIGNS, SEE SIGN SCHEDULE
	INTERIOR ELEVATIONS
	DOOR NUMBERS
	ROOM NAME/NUMBER
	DECORATIVE STEEL PANEL

NOTES

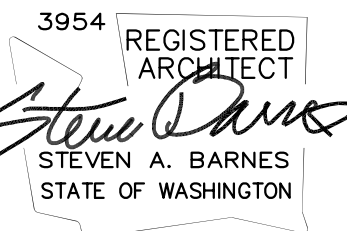
- SEE SHEETS A6.1 AND A6.2 FOR ROOM FINISH & DOOR SCHEDULES, DOOR & WINDOW TYPES.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL TACKBOARDS, ACOUSTICAL WALL PANELS, ETC.
- PROVIDE CORNER GUARDS ON ALL OUTSIDE CORNERS.
- SEE A7 SHEETS FOR STANDARD MOUNTING HEIGHTS DETAIL & INTERIOR ELEVATIONS. 4' HIGH PLASTIC LAMINATE. WAINSCOT AROUND ALL SERVICE SINKS, TYP.
- ALL INTERIOR & EXTERIOR WINDOWS OR RELIGHTS TO HAVE BLINDS

PERMIT SET
SHEET TITLE: SECOND FLOOR
EQUIPMENT & FINISHES
PLAN

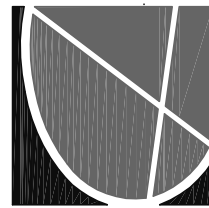
DATE: 2-11-21
REVISIONS:

PROJECT NO: 101901

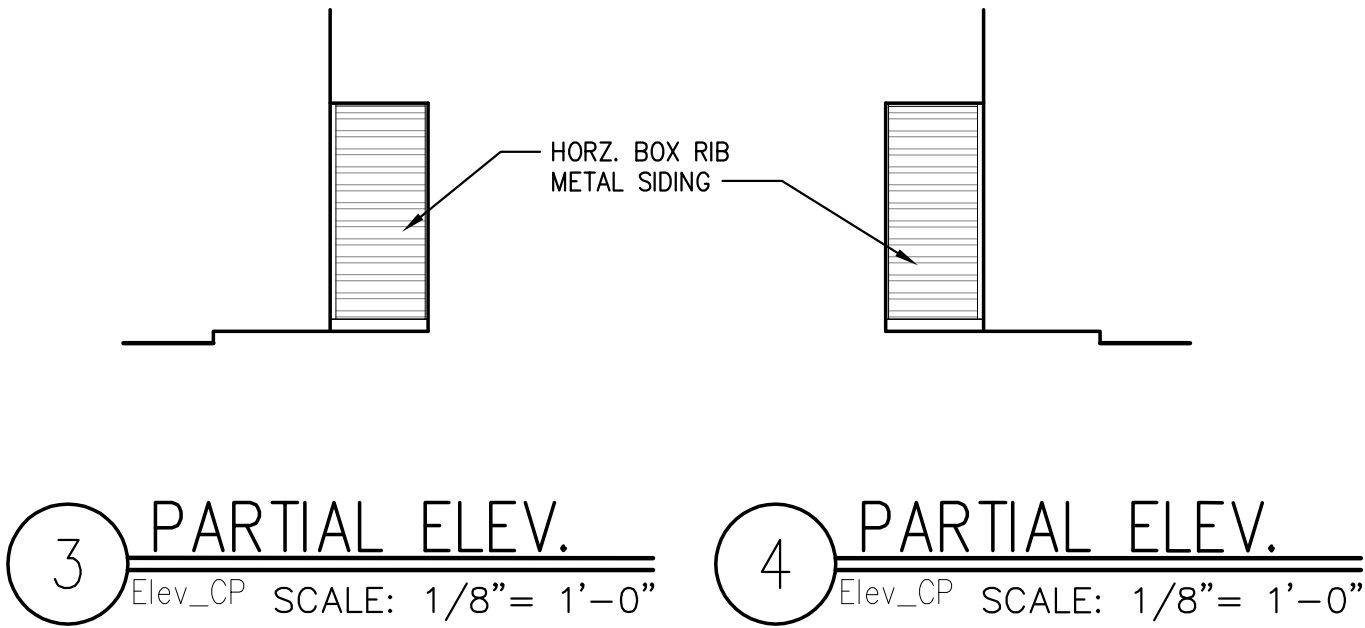
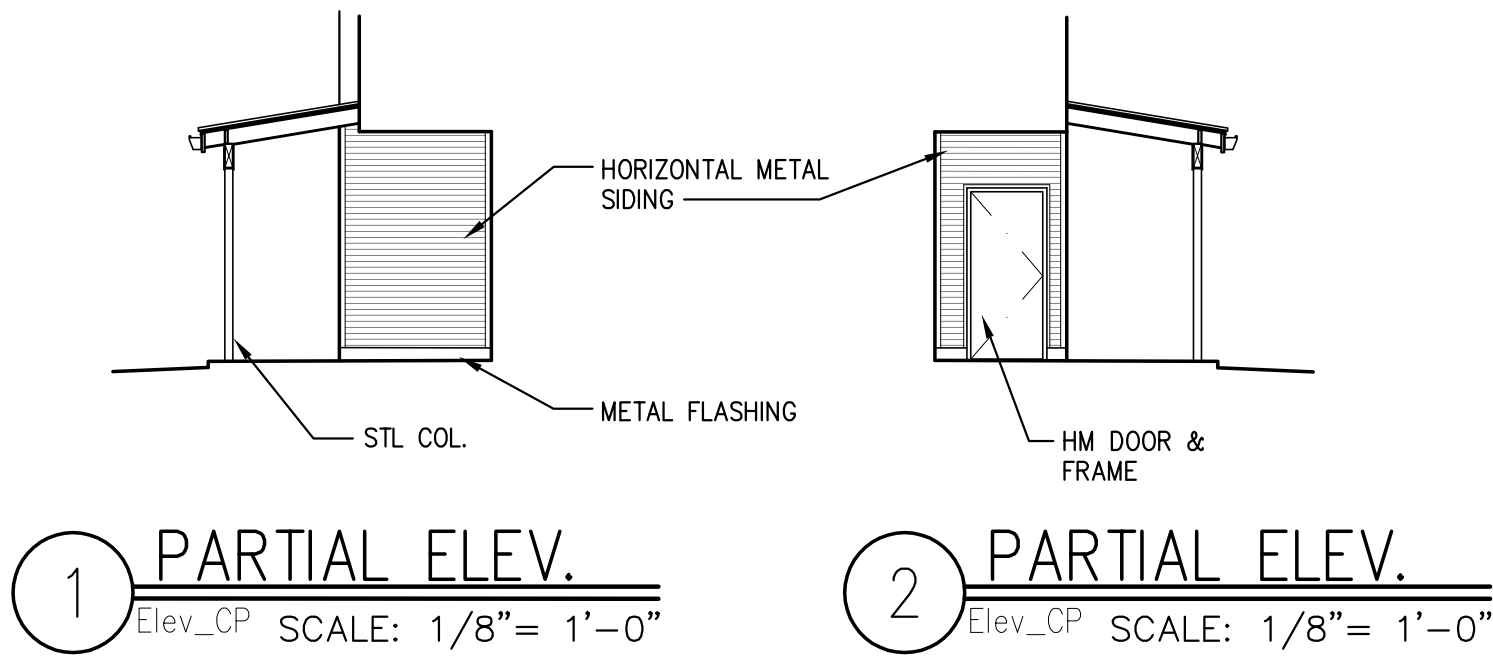
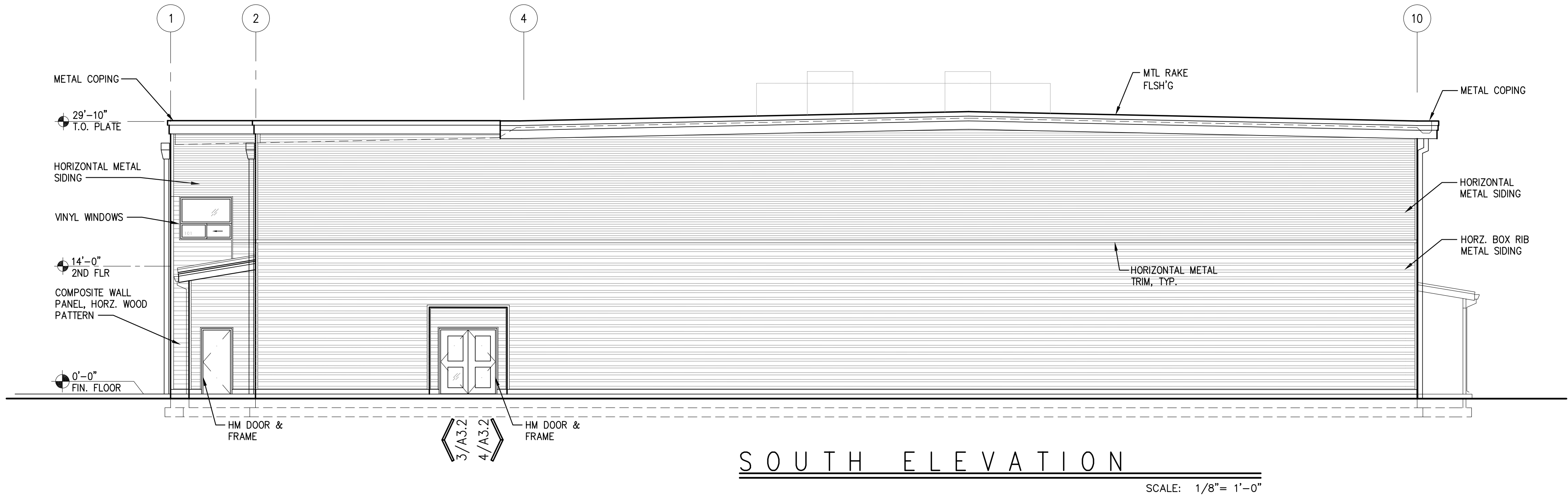
CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037



© CORNERSTONE ARCHITECTURAL GROUP



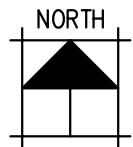
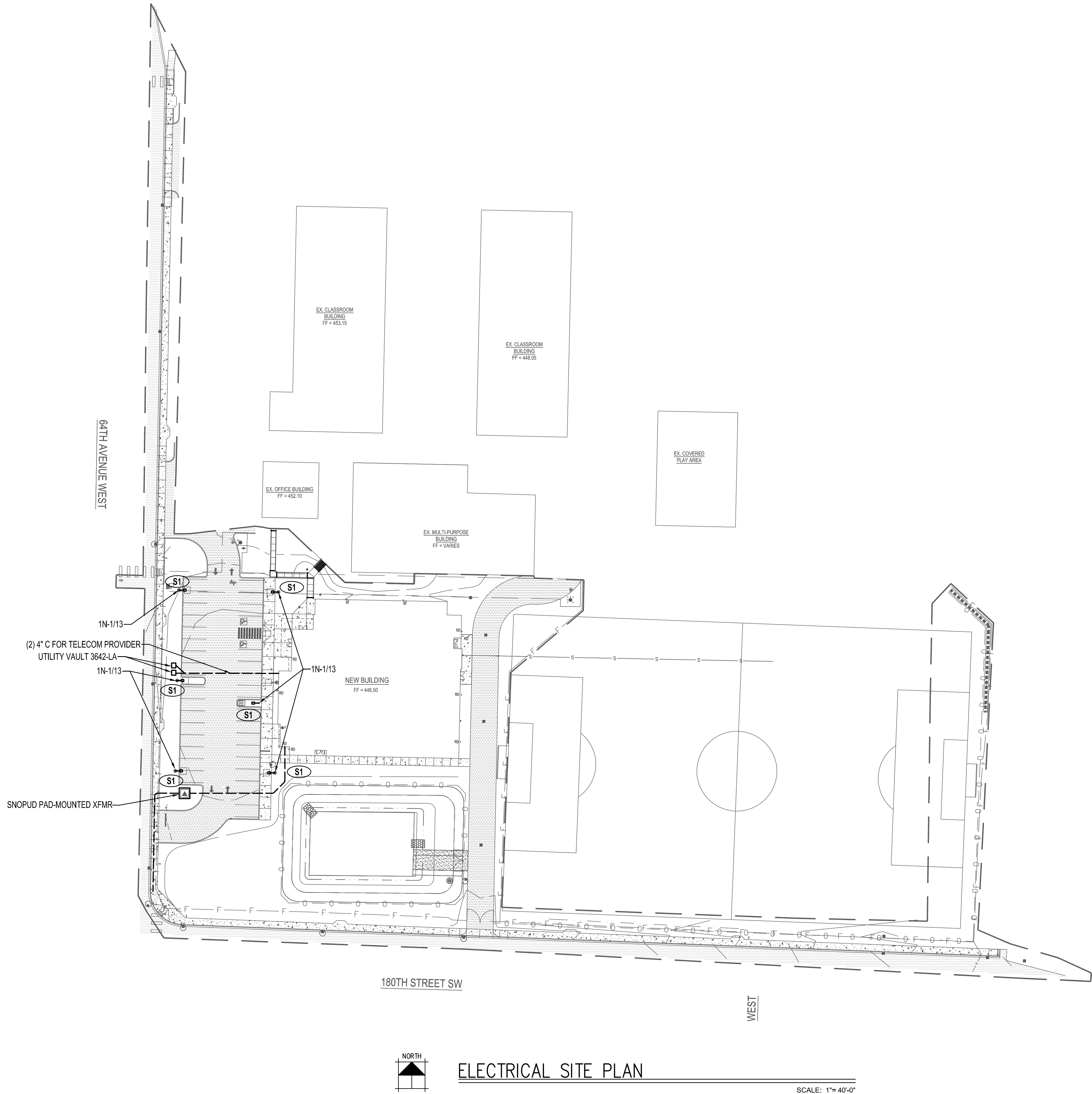
Cornerstone
ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonearch.com



MATERIAL SCHEDULE

MISCELLANEOUS	
MTL CONNECTORS & EXPOSED STEEL:	TBD
VINYL WINDOWS	TBD
METAL SIDING & ROOFING	
HORIZONTAL MTL SIDING:	NUWAVE
HORIZONTAL BOX RIB MTL SIDING:	HR36 REVERSED
METAL COPING:	TBD
MTL GUTTERS & FASCIA:	TBD
PAINT COLORS	
METAL LOUVERS:	TBD
STEEL COLS., BEAMS & CONNECTORS:	TBD
HM DOORS & FRAMES:	TBD

- NOTES
- SACK ALL EXTERIOR CONCRETE WALLS & BASES.
 - AT METAL SIDING CORNER TRIM & VERTICAL HORIZONTAL TRIM IS SAME COLOR AS SIDING. SEE 1/A10.3.
 - METAL LOUVERS SEE LOUVER TYPES A6.2.
 - WINDOWS SEE WINDOW TYPES A6.2.
 - METAL SIDING & TRIM SEE DETAILS 1/A10.3.
 - COMPOSITE WALL PANEL SIDING SEE DETAIL 11/A10.3.



ELECTRICAL SITE PLAN

SCALE: 1"= 40'-0"



SITE LIGHT FIXTURE

100% SET

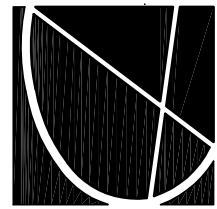
SHEET TITLE: ELECTRICAL SITE PLAN

DATE: 2-25-21

PROJECT NO: 101901

REVISIONS:

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037



© CORNERSTONE ARCHITECTURAL GROUP

Cornerstone
ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonerearch.com

E1.1

